



AGENDA

FOR COUNCIL ASSESSMENT PANEL MEETING TO BE HELD ON

26 APRIL 2023 AT 6.30 PM

**IN LITTLE PARA CONFERENCE ROOMS, SALISBURY COMMUNITY HUB, 34
CHURCH STREET, SALISBURY**

MEMBERS

Mr T Mosel (Presiding Member)
Mr R Bateup
Ms C Gill
Mr B Brug
Mr M Atkinson

REQUIRED STAFF

Assessment Manager, Mr C Zafiropoulos
General Manager, City Development, Ms M English
Team Leader Planning, Mr C Carrey
Development Officer Planning, Mr S Ondeyo

APOLOGIES

LEAVE OF ABSENCE

ADOPTED MINUTES FROM PREVIOUS MEETING

Presentation of the Minutes of the Council Assessment Panel Meeting held on 28 March 2023.

DECLARATIONS OF CONFLICTS OF INTEREST

REPORTS

Development Applications

- 8.1.1 22031936..... 17**
- 11 & 13 Goodall Road, Para Hills SA 5096
- Three (3) Two Storey Detached Dwellings in a Terrace Arrangement and Four (4) Group Dwellings with associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
- 8.1.2 23006923 189**
- 20 Hissar Avenue, Salisbury North SA 5108
Lot 82 Hissar Avenue, Salisbury North SA 5108
Lot 322 Holstein Drive, Salisbury North SA 5108
Lot 279 Holstein Drive, Salisbury North SA 5108
- Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m.
- 8.1.3 22038410 275**
- 20 Hissar Avenue, Salisbury North SA 5108
Lot 82 Hissar Avenue, Salisbury North SA 5108
Lot 279 Holstein Drive, Salisbury North SA 5108
Lot 322 Holstein Drive, Salisbury North SA 5108
Proposed Allotments 8-35 in Land Division 22036925 /361/D565/22
- Twenty-Eight (28) Single Storey Dwellings and Removal of Three (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees
- 8.1.4 22038407 485**
- 20 Hissar Avenue, Salisbury North SA 5108
Lot 82 Hissar Avenue, Salisbury North SA 5108
Lot 322 Holstein Drive, Salisbury North SA 5108
Lot 279 Holstein Drive, Salisbury North SA 5108
(Proposed Allotments 1 - 7 in Land Division 22036926 - 361/C566/22)
- Seven (7) Single Storey Dwellings and Private Driveway

OTHER BUSINESS

8.2.1	Status of Current Appeal Matters and Deferred Items	573
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8.2.3	Policy Issues Arising from Consideration of Development Applications	
8.2.4	Future Meetings & Agenda Items	

CLOSE

Please note:

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**MINUTES OF COUNCIL ASSESSMENT PANEL MEETING HELD IN LITTLE PARA
CONFERENCE ROOMS, SALISBURY COMMUNITY HUB, 34 CHURCH STREET,
SALISBURY ON**

28 MARCH 2023

MEMBERS PRESENT

Mr T Mosel (Presiding Member)
Mr R Bateup
Ms C Gill
Mr B Brug
Mr M Atkinson

STAFF

General Manager, City Development, Ms M English
Team Leader Planning, Mr C Carrey
Development Officer Planning, Ms K Thrussell
Administration Officer Development Services, Mr A Kalms

The meeting commenced at 6:30pm

The Presiding Member welcomed the members, staff and the gallery to the meeting.

APOLOGIES

Apologies were received from

Assessment Manager, Mr C Zafiropoulos

LEAVE OF ABSENCE

ADOPTED MINUTES FROM PREVIOUS MEETING

The Minutes of the Council Assessment Panel Meeting held on 28 February 2023, be taken as read and confirmed.

DECLARATIONS OF CONFLICTS OF INTEREST

Mr B Brug declared a conflict of interest, being an Elected Member on Council in relation to Item 8.1.1 - development application 22040408 at 15-21 Brown Terrace and 23 Brown Terrace, Salisbury SA 5108 for Rosssdale Homes.

He advised that he would leave the meeting when the Item is being considered by the Panel.

Mr B Brug declared a conflict of interest, being an Elected Member on Council in relation to Item 8.1.2 – development application 23005553 at 23-29 Amsterdam Crescent, Salisbury Downs SA 5108, Lot 56 Amsterdam Crescent, Salisbury Downs SA 5108 for John Bested & Associated Pty Ltd.

He advised that he would leave the meeting when the Item is being considered by the Panel.

Mr B Brug left at: 6:36pm and did not return

Ms M English, General Manager City Development, declared a conflict of interest in relation to Item 8.1.1 and advised that she would leave the meeting when the Item 8.1.1 is being considered by the Panel.

Ms M English left at: 6:36pm

REPORTS

Development Applications

8.1.1 22040408

Health Hub comprising community and indoor recreation facilities and consulting rooms with associated car parking and landscaping and the removal of five regulated trees at 15-21 Brown Terrace and 23 Brown Terrace, Salisbury SA 5108 for Rosssdale Homes

REPRESENTORS

There were no representations received for this application

APPLICANT

The applicant was present but was not requested to respond to questions from the Panel.

14. STAFF RECOMMENDATION

Mr R Bateup moved and the Council Assessment Panel resolved that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to Section 102 of the *Planning, Development and Infrastructure Act 2016*, Planning Consent is **GRANTED** to Development Application 22040408 for Health Hub comprising community and indoor recreation facilities and consulting rooms with associated car parking and landscaping and the removal of five regulated trees at 15-21 and 23 Brown Terrace, Salisbury, in accordance with the plans and details submitted with the application and subject to the following Reserved Matters and Conditions.

Reserved Matters:

The following matters shall be submitted for further assessment and approval by the Team Leader Planning, as delegate of the Council Assessment Panel, as Reserved Matters under Section 102(5) of the *Planning, Development and Infrastructure Act 2016*:

1. A revised civil design whereby roof stormwater is discharged unrestricted to the downstream receiving stormwater system within Brown Terrace. Stormwater generated by pavement areas is to be discharged through overland flows un-detained to Brown Terrace via safe overland flow routes.
2. A revised Arboricultural Report prepared by a suitably qualified arborist that addresses the following:
 - The accuracy of encroachments into the TPZ of existing trees;
 - The accurate identification of tree species;
 - Consideration of the location of services, drainage infrastructure and the provision of irrigation;
 - Details of crown management, including pruning that is required allow construction of the building and carpark.

Development Plan Consent Conditions

1. The proposal shall be developed in accordance with the details submitted with the application and the following Council stamped approved plans and documents, except where varied by the conditions herein:

Drawing No.	Plan Type	Date	Prepared By
	Response to Request for Information	16 February 2023	Thomson Planning
MLM/23-0009	Traffic Assessment	7 February 2023	MFY
	Planning Report	29 November 2022	Thomson Planning
Sheet 1 of 6	Site Plan	14 February 2023	Goostry Smith Design
Sheet 2 of 6	Floor Plan	14 February 2023	Goostry Smith Design
Sheet 3 of 6	Elevations	14 February 2023	Goostry Smith Design
Sheet 4 of 6	Perspective Views	14 February 2023	Goostry Smith Design
Sheet 5 of 6	Roof Plan	14 February 2023	Goostry Smith Design
Sheet 6 of 6	Landscaping Plan	14 February 2023	Goostry Smith Design
	Arboricultural Impact Assessment and Tree Protection Plan Revision B	3 March 2023	Tertiary Tree Consulting
	Waste Management Plan Revision B	17 November 2022	Colby Phillips
2022-001	Storm Water Management Plan	November 2022	Struktura

- * The approved documents referred to above may be subject to minor variation, pursuant to Regulation 65 of the Planning, Development and Infrastructure (General) Regulations 2017.
- * Except where otherwise stated, the development shall be completed prior to occupation/commencement of use.
- * All documents referred to under Reserved Matters 1 and 2 inclusive constitute approved documents and form part of this Consent.

2. The external surfaces of the building shall:
 - be of new non-reflective materials; and
 - be finished in natural tones; and
 - be maintained in good condition at all times.
3. All driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained prior to occupation and shall be maintained in reasonable condition at all times to the satisfaction of Council.
4. All car parking areas shall be marked in a distinctive fashion to delineate the parking spaces, prior to the occupation of the development.
5. The proposed car parking layout and access areas and vehicle head clearances shall conform to Australian Standard AS 2890.1:2004- Off-street Car parking and Australian Standard 2890.6:2009 - Off-Street Parking for People with Disabilities.
6. Driveway, car parking spaces, manoeuvring areas and landscaping areas shall not be used for storage or display of materials or goods.
7. All landscaping shall be planted in accordance with the Landscape Plan prepared by Goostry Smith Design dated 14 February 2023 prior to the occupation of the development. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping and shall replace any plants which may become diseased or die.
8. The operating hours of the development approved herein shall be between 7.00am and 6.00pm Monday to Saturday.
9. All loading and unloading of vehicles and manoeuvring of vehicles in connection with the approved land use shall be carried out entirely within the site at all times
10. All waste and rubbish from the activity shall be contained and stored pending removal in covered containers which shall be kept in an area screened from public view.
11. Deliveries and waste collection shall take place between the hours of 6.30am and 9.00pm Monday to Friday and between 8.00am and 6.00pm Saturday and Sunday.
12. External lighting shall be restricted to that necessary for security purposes only and be designed, directed and shielded in accordance with AS 4282-1997 Control of the obtrusive effects of outdoor lighting so as to cause no adverse light overspill nuisance to nearby properties.
13. Replacement trees must be planted within 12 months of completion of the development at the following rates:

The replacement trees cannot be within a species specified under regulation 3F(4)(b) of the Planning, Development and Infrastructure (General) Regulations 2017 and cannot be planted within 10 metres of an existing dwelling or in-ground swimming pool.

- If the development relates to a regulated tree – 2 trees to replace a regulated tree; or
 - If the development relates to a significant tree – 3 trees to replace a significant tree.
14. The existing tree(s) on site indicated as being retained, as shown on the Approved Site Plan, prepared by Goostry Smith Design dated 14 February 2023, shall be retained and protected at all times in accordance with the arborist report prepared by Tertiary Tree Consulting and dated 3 March 2023, to the reasonable satisfaction of Council.
 15. The advertisements and advertising structures shall be maintained in good repair at all times.
 16. Except where otherwise approved, outside lighting shall be restricted to that necessary for security purposes only and shall be directed and shaded to prevent light overspill and/or nuisance to adjacent occupiers or distraction to drivers on adjacent public roads. All lighting shall be in accordance with Australian Standard 4282 – 1997 ‘Control of the obtrusive effects of outdoor lighting’.
 17. Noise measured at the nearest residential property boundary shall comply with the Environment Protection (Noise) Policy 2007 at all times.

Advice Notes

Rights of Appeal

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Building Rules Consent and Approval Still Required

Building Consent and Development Approval must be obtained within 24 months from the date of this Notification, unless this period has been extended by the Council. Work cannot commence until a Development Approval is obtained.

Commencement

The development shall be lawfully commenced by substantial work on the site of the development within 2 years from the date of Development Approval. If substantial work on the site has occurred within 2 years, the development shall be substantially or fully completed within 3 years from the date of Development Approval.

Advice regarding Council land

This Development Approval does not constitute land owner's approval. The following applies to any works on Council land:

1. Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or over Council land, is subject to a permit from Council pursuant to Section 221 of the *Local Government Act 1999*.
2. Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from root expansion.
3. Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and therefore permission should be first sought from Council before commencing any works;
4. It is the developer's/owner's responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.

Siting of Building Work

It is your responsibility to ensure that any building work is correctly sited with respect to the property boundaries of the site and it is strongly recommended that a boundary survey be undertaken before any work commences to ensure the building work is accommodated within the designated footprint and achieves the designated boundary setbacks.

Plans Available Onsite

The Council approved plans should be available on site at all times while performing the building work.

Fences Act

You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the *Fences Act 1975*. To find out more, please visit:

<https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>

Building Work Affecting Other Land

Pursuant to Section 139 of the *Planning, Development and Infrastructure Act 2016*, a person undertaking activity that affects stability of land or premises must serve notice in the prescribed form to the owner of the affected site. For the purposes of Section 139, work of the following nature is prescribed as building work which is to be treated for the purposes of that section as building work that affects the stability of other land

or premises, namely:

- An excavation which intersects a notational plane extending downwards at a slope of 1 vertical to 21 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site;
- An excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation;
- Any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200mm in depth (or height) and is for landscaping, gardening or other similar purposes.

To find out more, please visit:

<https://lawhandbook.sa.gov.au/ch28s02s06s03.php>

Construction Noise

The applicant is reminded that demolition and construction is required to be carried out so that it complies with the mandatory construction noise provisions of Part 6, Division 1 of the *Environment Protection (Noise) Policy 2007* and the provisions of the *Local Nuisance and Litter Control Act 2016*. Under the *Local Nuisance and Litter Control Act 2016*, construction noise is declared to constitute a local nuisance as follows:

The noise has travelled from the location of the construction activity to neighbouring premises –

- *On any Sunday or public holiday;*
- *After 7pm or before 7am on any other day.*

EPA and Local Nuisance Matters

The applicant is reminded of its general environmental duty, as required by Section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.

In addition, the applicant is responsible for ensuring the development (including demolition, civil works and construction activities) do not cause a ‘local nuisance’ under the *Local Nuisance and Litter Control Act 2016*

Accordingly, your site planning activities should consider:

- providing a stabilised entry/exit point to the site for all construction and trade vehicles, including contained wash down area for vehicles and equipment
- appropriately located stockpiles and storage materials
- a suitable and designated area for brick cutting and concrete works
- a contained area for paint and plastering waste and wash waters
- appropriate location of noisy equipment so as to avoid unreasonable impacts to neighbours

- dust control measures such as use of a water cart and/or covering stockpiles

Note: EPA information sheets, guidelines documents, codes of practice, technical bulletins etc. can be accessed on the following web site: <http://www.epa.sa.gov.au>.

Amendments

Except where otherwise varied by this Consent, the conditions imposed are in addition to conditions that apply to the site from previous approvals that remain active.

Ms M English returned at 6:41pm

8.1.2 23005553

Land Division (Boundary Realignment) at 23-29 Amsterdam Crescent, Salisbury Downs SA 5108

Lot 56 Amsterdam Crescent, Salisbury Downs SA 5108 for John Bested & Associated Pty Ltd

REPRESENTORS

There were no representations received for this application

APPLICANT

The Applicant was not present

14. STAFF RECOMMENDATION

Ms C Gill moved and the Council Assessment Panel resolved that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to Section 107 of the *Planning, Development and Infrastructure Act 2016*, Planning Consent is **GRANTED** to application number 23005553 for Land Division (Boundary Realignment) at 23-29 and Lot 56 Amsterdam Court, Salisbury Downs, 5108 in accordance with the plans and details submitted with the application and subject to the following conditions

Planning Conditions

1. The development shall be carried out in accordance with the details submitted with the application and the following stamped approved plans and documents, except where otherwise varied by the conditions herein:

Drawing No.	Plan Type	Date	Prepared By
25147-DIV	Amended	15/2/23	John Bested & Associates

Advice Notes

Rights of Appeal

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Advice regarding Council land

This Development Approval does not constitute land owner's approval. The following applies to any works on Council land:

Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or over Council land, is subject to a permit from Council pursuant to Section 221 of the *Local Government Act 1999*.

Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from roof expansion.

Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and therefore permission should be first sought from Council before commencing any works;

It is the developer's/owner's responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.

Fences Act

You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the *Fences Act 1975*. To find out more, please visit:
<https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>

OTHER BUSINESS

8.2.1 Status of Current Appeal Matters and Deferred Items

Mr B Brug moved and the Council Assessment Panel resolved that the Panel receives the information.

8.2.2 Policy Issues Arising from Consideration of Development Applications

The Panel noted the letter from the Minister for Planning commending Council's strategic planning work.

8.2.3 Future Meetings & Agenda Items

Next meeting scheduled for Wednesday 26 April 2023

ADOPTION OF MINUTES

Mr M Atkinson moved, and the Council Assessment Panel resolved that the Minutes of the Council Assessment Panel Meeting be taken and read as confirmed.

The meeting closed at 6:50pm

PRESIDING MEMBER:

Mr T Mosel

DATE:

28 March 2023
(refer to email approving minutes registered in the City of Salisbury's Record Management System - Document Number 7708280.)

ITEM	8.1.1
	COUNCIL ASSESSMENT PANEL
DATE	26 April 2023
APPLICATION NO.	22031936
APPLICANT	Zaina Stacey Development Consultants
PROPOSAL	Three (3) Two Storey Detached Dwellings in a Terrace Arrangement and Four (4) Group Dwellings with associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
LOCATION	11 & 13 Goodall Road, Para Hills SA 5096
CERTIFICATE OF TITLE	CT-6079/578 & CT-5211/147
AUTHOR	Samuel Ondeyo, Development Officer Planning, City Development

1. DEVELOPMENT APPLICATION DETAILS

Zone/Policy Area	General Neighbourhood Zone No sub-zone applies.
Application Type	Performance Assessed
Public Notification	Representations received: Six (6) Representations to be heard: Four (4)
Referrals - Statutory	Nil
Referrals – Internal	Development Engineering
Planning & Design Code Version (at lodgement)	2022.18
Assessing Officer	Samuel Ondeyo – Development Officer - Planning, City Development
Recommendation	Grant Planning Consent subject to Conditions and reserved matters

2. REPORT CONTENTS

This Report provides an assessment of the proposed development against the relevant provisions of the Planning and Design Code. This assessment has been based on a review of the following plans and documents which are appended to this report:

Attachment 1:	Proposal Plans and Supporting Documentation
Attachment 2:	Copy of Sign Displayed on the Land and Representations
Attachment 3:	Applicant's Response to Representations
Attachment 4:	Extract of Planning and Design Code

3. EXECUTIVE SUMMARY

The proposed development seeks consent for the construction of three two-storey detached dwellings in a terrace arrangement and four group dwellings with access via a common driveway. Due to the fall across the land, the proposal includes retaining walls up to 1.2 metres in height plus 1.8 metre fencing to maintain privacy. The application underwent public notification due to the combined retaining wall and fencing exceeding 2.1 metres in height.

The development consolidates two existing sites at 11 & 13 Goodall Rd, Para Hills, which is located within the General Neighbourhood Zone.

Key considerations relate to;

- Compatibility of the proposed development with the character of existing development in the locality;
- Proposed density outcomes having regard to outcomes sought by the Zone and established pattern of development in the locality;
- Design outcomes, both external to the site and internal amenity offered to future residents;
- Visual impacts associated with retaining walls proposed in fill, and associated fencing; and
- Adequacy of onsite car parking provision.

The application was subject of a performance assessment pathway and public notification, with six (6) representations received. Four (4) representors oppose the proposal, one offered support with concerns and one supported the proposal. Four of the representors wish to be heard in support of their submission.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. The assessment has found that the proposed development:

- Is consistent with the land uses sought by the General Neighbourhood Zone and is appropriate within the context of the locality;
- On balance, the proposed site areas and density outcomes are appropriate in the context of the locality given the intent of the General Neighbourhood Zone to support medium density outcomes in appropriate locations;
- While offering a contemporary design, and proposing two storey designs for the detached dwellings, the designs are considered appropriate with the emerging character of the area, and will present appropriately to the street and neighbouring properties, allowing for casual surveillance opportunities;
- The dwellings have been appropriately sited with respect to the primary street, neighbouring sites and there are no overshadowing impacts. While on-boundary components are proposed to external boundaries, these are single storey in nature and of short lengths which is seen to be appropriate;
- The dwellings are provided with sufficient areas of private open space;
- Adequate on-site car parking will be provided;
- The amount of cut and fill is balanced and the height of retaining walls and fencing is not inappropriate within the context of this locality; and
- Stormwater has been appropriately managed.

For the above reasons, it is recommended the Council Assessment Panel grants Planning Consent for the proposed development subject to a number of Conditions and reserved matters.

4. SUBJECT SITE

The subject land comprises two abutting allotments located at 11 and 13 Goodall Road, Para Hills. The allotments are formally described as Lot 163 and Lot 164, in Certificate of Title Volume 6079 Folio 578 and Volume 5211 Folio 147 respectively. Combined, the subject land has a frontage of 36.58 meters to Goodall Road and a total site area of 1,858 m².

The subject land is presently occupied by two neighbouring single storey detached dwellings with associated outbuildings and swimming pools. The existing buildings do not have any heritage status and are proposed to be removed to facilitate the proposed development.

The subject land falls approximately 1.6 metres from the street to the rear of the allotments, and in particular towards the south western corner. Side and rear boundaries are presently fenced, including a retaining wall along the western side boundary of 11 Goodall Road and eastern side boundary of 13 Goodall Road.

The subject land does not contain any Significant or Regulated Trees. There are no easements, encumbrances or land management agreements registered on the Certificate of Titles.

Site photos are provided below

Photo 1.
Looking towards the existing residential dwellings on the subject land from Goodall Road



Photo 2.
Looking North-West along Goodall Road with the subject site positioned Left of center

Somerset Hotel to the right



Photo 3.
Suburban Activity Centre Zone at the intersection of Bridge Rd & Goodall Rd



Photo 4.
*Looking
South-East
along
Goodall
Road with
the subject
site
positioned
Right of
center*



Photo 4.
*Group
dwellings
on St
Clair
Ave to
the South
West of
the
subject
site*



Photo 5.
*Goodall
Road
Reserve
at the
intersect
ion of
Goodall
Road
and St
Clair
Ave*



5. LOCALITY

The locality is principally defined by visual reference.

The immediate locality is generally characterised by single storey residential dwellings, of brick construction with tiled roofs of conventional pitched form, reflecting the original subdivisional layout of the neighbourhood.

However, the original pattern of development in the immediate and wider locality has been influenced by more recent infill development outcomes including:

- Hammerhead development at the adjoining site to the east (15 Goodall Road), which retained the established dwelling to the front of the site, and new single storey dwelling to the rear.
- Multi-dwelling development at 25 St Clair Avenue, which comprises a single storey detached dwelling to the front of the site, and four single storey group dwellings serviced by communal driveway to the rear.
- Multi-dwelling development at 3 St Clair Avenue, which comprises a single storey detached dwelling to the front of the site, and three single storey group dwellings serviced by communal driveway to the rear.
- ‘Conventional’ one into two Torrens title developments at 46 and 52 Todd Road, and 16 Kimba Road. In addition, there is a vacant allotment at 20 Goodall Road, which has recently obtained approval for a one into two land division.

Within the locality, front setbacks of dwellings are relatively uniform affording opportunities for front yard landscaping, however, solid front fencing is a common feature.

Goodall Road slopes downhill from east to west, with dwelling floor levels generally reflecting the slope. A small reserve area is located approximately 120 metres to the east of the subject land (Goodall Road Reserve).

A key feature of the locality, is the Somerset Hotel located between Goodall Road, Kimba Road and Bridge Road, approximately 30 metres to the north-west of the subject land. This is a substantial two-storey licensed premises comprising pub, dining and gaming areas, beer garden and drive through bottle shop. The Hotel is serviced by at-grade parking areas to the east and west of the building, with several vehicular access points including directly from Goodall Road.

The Hotel is adjacent to the Para Hills Shopping Centre which is located to the north and which is surrounded by substantial at grade car parking areas, offering a variety of retail options, including a Drakes supermarket, McDonalds restaurant, and Anytime Fitness gym. The centre previously featured a retail fuel outlet, which is presently being decommissioned.




The locality is serviced by various bus routes, including along Goodall Road, Kimba Road and Bridge Road.

While outside the locality, Para Hills West Primary School is located approximately 250 metres to the west of the subject land.

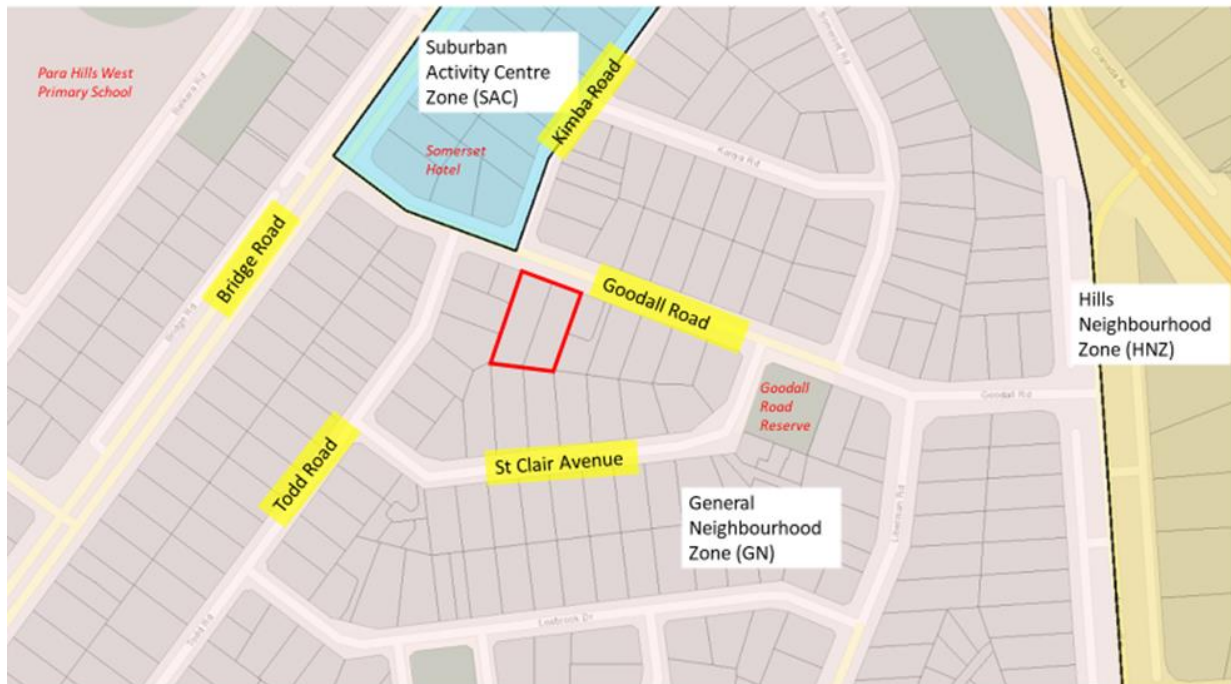
A locality plan, contextual plan and panorama view are provided below.

Locality Plan – Aerial


**Legend (Source: NearMap)**

	Site boundary
	Locality boundary
	Representor

Contextual Plan




Legend (Source: SAPPA)

	Site boundary
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Panorama View – Looking South



Legend (Source: Nearmap)	
	Site boundary

6. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The applicant seeks consent for the construction of three two storey detached dwellings in a terrace arrangement and four group dwellings with access via a common driveway. The proposal includes retaining walls and fencing over 2.1m. The proposal is configured to have the three detached dwellings located towards the front of the land, with direct frontage to Goodall Road. A communal driveway is proposed to the eastern side of the land, servicing four group dwellings to the rear of the land.

The two storey detached dwellings (Residences 1-3) each contain at ground level one bedroom with attached bathroom, open plan living and dining area, laundry, WC and single garage; while the upper level comprises two bedrooms and bathroom.

The detached dwellings have a front setback of 5 metres to the main wall both at the ground and upper level, 5.5 metres to the garage, and a ground floor portico projection setback around 4.4 metres. With the exception of on-boundary garage walls, ground floor side setbacks range from 900mm to 2.78 metres. The garage walls of Residence 1 and 2 are located on internal boundaries, while Residence 3 is located on the external boundary abutting 9 Goodall Road. Upper floor setbacks range from 2.04m to 3.09 metres or greater. Rear boundary setbacks range from 3.05m to 5.5m at ground level, with the upper level setback 6.35m to 8.8 metres.

Residences 1 and 2 propose a matching finished floor levels of 42.7m, while Residence 3 is set down 500mm at 42.2m. Each dwelling provides one covered space (garage) and one visitor space within the driveway.

The detached dwellings are of contemporary design, to be finished with a range of external materials and colours, including rendered hebel, feature rendered foam paneling which protrudes forward of the front wall and frames the upper level window, with tiling to the entry foyer and sycon axon cladding at the ground and upper level. A conventional metal pitched roof form with eaves is proposed, setback behind the foam panel feature surround.

The group dwellings (Residences 4-7) are all single storey of contemporary design, offering three bedrooms, open plan kitchen and living area and single garage. Each group dwelling provides a visitor car parking space in front of the garage.

External design comprises hebel panel walls, sycon axon cladding, and pitched colorbond metal roofs. Residence 4 has two sections of wall built on the eastern (external) boundary of the subject land, while Residence 7 has a setback of 1 metre from the western (external boundary). Internal to the site, the walls of the group dwellings abut each other.

The finished floor level of each group dwelling is generally consistent at 43.2m, however, Residence 7 is of a split-level design with the rear of the dwelling set down at 42.82m. The split-level design was introduced to reduce boundary retaining in the south-west corner of the site, reducing on boundary impacts to the adjoining sites to the west and south.

The common driveway servicing the group dwellings is 6 metres wide by 6 metres deep at the front property, allowing for two vehicles to hold on the subject site (off of Goodall Road). The driveway handle then narrows to 3 metre width, with 700mm landscape beds on either side. Two communal visitor car parking spaces are provided within the common driveway, as well as a reversing bay in front of Residence 7.

The proposed development includes retaining walls in fill along the western (side) and southern (rear) boundaries, reaching a maximum height of 1.2 metres in the south-west corner of the land. A 1.8metre high colorbond fence is proposed atop the retaining walls and along all external boundaries.

A copy of the proposal plans and supporting documentation are contained in Attachment 1.

7. CLASSIFICATION

The site is located within the General Neighbourhood Zone as depicted in the SA Property and Planning Atlas (SAPPA).

The proposed development incorporates the following elements:

- Detached dwellings in a terrace arrangement
- Group dwellings
- Retaining walls and fencing with a combined height exceeding 2.1m.

These elements are neither Accepted, Deemed to Satisfy or Restricted forms of development in the General Neighbourhood Zone (Tables 1, 2 and 4). On this basis, the application shall be assessed as “Performance Assessed” development against the relevant provisions of the Planning and Design Code.

8. PUBLIC NOTIFICATION

Table 5 of the General Neighbourhood Zone identifies land use classes of performance assessed development that are excluded from notification. Table 5 indicates that retaining walls and fences are excluded from notification except where:

- the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)*
- the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).*

Given that the retaining walls and fences have a combined height exceeding 2.1 metres for a length exceeding 11.5m, public notification is required.

Public notification commenced on 17 Mar 2023 and closed on 6 Apr 2023. Six representations were received during the notification period, with four in opposition, one in support with concerns and one in support. Four of the representors have requested to be heard by the Panel.

The representors are listed below.

		Representations received	
Representations received		Support or Oppose	Wish to be Heard
1	Alison Barry 17 Goodall Rd, Para Hills SA 5096	Oppose	Yes
2	Trayde Meyer 52A Todd Rd, Para Hills SA 5096	Support	No
3	Ilona Reid 18 Kimba Rd, Para Hills SA 5096	Oppose	Yes
4	Sam Kitoko 9 Goodall Rd, Para Hills SA 5096	Oppose	Yes

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5&6	Subra Kuppa 15 Goodall Rd, Para Hills SA 5096	Support (with Concerns)	Yes
7	Nastasja Agerman 29 Swallowtail St, Mount Barker SA 5251	Oppose	No

A copy of the sign displayed on the land and the representations received are contained in Attachment 2.

A copy of the applicant's response to the representations is contained in Attachment 3.

The content of the representations and the applicant's response are summarized in the table below.

Summary of Representations	
Summary of Representations	Applicant's Response
The density and design of development is out of character for this area Lack of car parking spaces and impact to on-street parking availability Insufficient private open space for future occupants Side setbacks are less than 1 metre Negative impacts on existing infrastructure Insufficient waste management to support the proposal Fire and emergency access concerns Removal of existing trees and vegetation Overlooking concern from two storey level	<ul style="list-style-type: none"> Proposed dwelling design is envisaged in the zone by the Code All dwellings provide an undercover car parking space and a visitor parking space. An additional two visitor parking spaces are provided in the common area. Three on-street parking spaces are retained between driveways Adequate private open space is provided for each dwelling that exceeds the minimum required by the Code. All dwellings are to be connected to the existing waste water mains along Goodall Rd. Bin storage areas are provided internally and an on street pickup area is designated and of sufficient size for all bins All vehicles can enter and exit the group dwellings in a forward direction

9. REFERRALS – STATUTORY

No statutory referrals were triggered by the proposed development.

10. REFERRALS – INTERNAL

Department	Summarized Comment
Development Engineer	The application was referred to Council's Development

	Engineer to review the stormwater management arrangements of the proposed development. Following the receipt of additional information, the Development Engineer has confirmed that the proposed stormwater management arrangements are acceptable.
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11. ASSESSMENT

Pursuant to Section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*, it is recommended the Panel determine the proposed development is not seriously at variance with the Planning & Design Code, given residential development is an expected land use within the General Neighbourhood Zone.

Assessment

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code and is described below under a series of headings.

A Policy Extract containing the relevant provisions of the Planning and Design Code is contained in Attachment 4.

Overlays

A summary of the proposed development's compliance with the relevant Overlays affecting the subject land is provided in the table below:

Overlay	Assessment
Airport Building Heights (Regulated) - All structures over 15 metres	Satisfied – the proposed development does not exceed 15 metres in height.
Affordable Housing	Not applicable – the proposed development does not constitute affordable housing.
Building Near Airfields	Satisfied – the proposed development does not pose a hazard to the operational and safety requirements of commercial and military airfields.
Defence Aviation Area (All structures over 90 metres)	Satisfied – the proposed development does not propose any building work or structures over 90 metres in height.
Prescribed Wells Area	Not applicable – the proposed development will not rely on a water supply from a prescribed well.
Regulated and Significant Tree	Not applicable – the proposed development does not include Tree Damaging Activity.
Stormwater Management	Satisfied – the proposed development includes appropriately designed rainwater/detention tanks.
Traffic Generating Development	Satisfied - the proposed development does not propose direct access to Bridge Road.
Urban Tree Canopy	Satisfied – the proposed development

	includes the planting of new trees (1 per dwelling) which will enhance the urban tree canopy.
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Assessment

Land Use, Site Areas and Density

The following Desired Outcomes (DO), Performance Outcomes (PO) and corresponding Deemed to Satisfy / Designated Performance Features (DTS/DPF) of the General Neighbourhood Zone are considered key to an assessment of the proposed land use, site areas and density outcomes of the proposal.

DO 1 *Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.*

PO 1.1
Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.

DTS/DPF 1.1:

Development comprises one or more of the following:

- a) Ancillary accommodation
- b) Community facility
- c) Consulting room
- d) Dwelling
- e) Educational establishment
- f) Office
- g) Place of Worship
- h) Pre-school
- i) Recreation area
- j) Residential flat building
- k) Retirement facility
- l) Shop
- m) Student accommodation
- n) Supported accommodation
(emphasis added)

PO 2.1
Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighborhood, with higher densities closer to public open space, public transport stations and activity centers.

DTS/DPF 2.1

Development will not result in more than 1 dwelling on an existing allotment

or
Allotments/sites for residential purposes accord with the following:

Dwelling Type	Minimum site/allotment area	Minimum site/allotment frontage
<i>Detached Dwelling</i>	<i>300 sqm (exclusive of</i>	<i>9m where not on a battle-</i>

<i>(not in a terrace arrangement)</i>	<i>any battle-axe allotment 'handle')</i>	<i>axe site 5m where on a battle axe site</i>
<i>Semi-detached dwelling</i>	<i>300 sqm</i>	<i>9m</i>
<i>Row dwellings (or detached dwellings in a terrace arrangement)</i>	<i>250 sqm</i>	<i>7m (averaged)</i>
<i>Group dwelling</i>	<i>300 sqm (average including common areas)</i>	<i>15m (total)</i>
<i>Dwelling within a residential flat building</i>	<i>300 sqm (average including common areas)</i>	<i>15m (total)</i>

Detached dwellings, group dwellings and associated retaining walls and fencing are envisaged and expected outcomes within the General Neighbourhood Zone. In addition, the Zone supports the construction of one and two storey dwellings ('low-rise'). Accordingly, from a first principle perspective, the proposed land uses are seen to be appropriate.

A fundamental question is whether the proposed site areas and overall density of development are appropriate within the Zone and within the context of this locality. DO 1 and PO 2.1 contemplate medium density outcomes located in appropriate locations – for example, close to public open space, public transport and activity centres.

The subject site is situated in a locality serviced by various bus routes, with easy access to a main road (Bridge Road), and within walking distance of the Suburban Activity Centre and small area of public reserve. It is considered that the subject land is appropriately located to support a medium density outcome as contemplated by the Zone which is also evident with the emerging pattern of infill development in the locality.

In terms of site areas, DTS/DPF 2.1 contemplates detached dwellings in a terrace arrangement having a site area of 250sqm and 7m frontage, and group dwellings having an average site area (inclusive of common areas) of 300sqm.

The proposed detached dwellings have an average site area of 229sqm and frontages in excess of 10 metres prescribed in DTS/DFP 2.1. Accordingly, there is a site area departure from DTS/DPF 2.1 of 21 sqm per dwelling (8.4%), however the frontages exceed the ‘minimum’ by over 3 metres each (42.8%). From a density perspective, the detached dwellings deliver a net density of 44 dwellings per hectare (dw/ha).

The group dwellings have an average site area of 293.7sqm (including the common driveway), with individual widths of around 9m. This represents a site area variance of 6.3sqm (2.1%) from DTS/DPF 2.1. This average site area represents a net density of 34 dw/ha.

When considered together (i.e. detached and group dwellings), the average site area is 265.4sqm which returns a net density of 37 dw/ha.

While the proposed development is at variance to the ‘minimum’ site areas indicated by DTS/DPF 2.1, the variations are not considered to be significant given the proposal delivers a density which is generally at the lower end of the medium density scale, as contemplated by PO 2.1 and DO 1. Furthermore, the proposal is considered to be consistent with the PO2.1 that seeks ...*higher densities closer to public open space, public transport stations and activity centers.*

Importantly, as the detached dwellings propose a frontage in excess of 10 metres, this supports a streetscape outcome which is more in keeping with a typically pattern of infill development sought in the zone, allowing for a low-scale contemporary dwelling design, with reasonable setbacks to external property boundaries, particularly at the upper level, landscaped front yards and space between driveways.

On balance, the proposed development is seen to be appropriate from the perspectives of land use, site areas and density, generally aligned with the overarching intent of the General Neighbourhood Zone and appropriate within the context of the locality.

Setbacks and Siting

The following provisions of the General Neighbourhood Zone are considered relevant:

PO 3.1

Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

PO 5.1

Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.

PO 7.1

Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.

DTS/DPF 3.1

The development does not result in site coverage exceeding 60%.

DTS/DPF 5.1

The building line of a building set back from the primary street boundary:

- a. *no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)*
- b. *where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building; or*
- c. *not less than 5m where no building exists on an adjoining site with the same primary street frontage.*

DTS/DPF 7.1

Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:

- a. *side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height*
- b. *side boundary walls do not:*
 - i. *exceed 3m in height from the top of footings*
 - ii. *exceed 11.5m in length*
 - iii. *when combined with other walls on the boundary of the subject development site, exceed a*

- maximum 45% of the length of the boundary
- iv. encroach within 3m of any other existing or proposed boundary walls on the subject land.

PO 8.1

Building walls are set back from side boundaries to provide:

- a. separation between dwellings in a way that contributes to a suburban character and
- b. access to natural light and ventilation for neighbours.

PO 9.1

Dwelling walls are set back from rear boundaries to provide:

- a. separation between dwellings in a way that contributes to a suburban character
- b. access to natural light and ventilation for neighbours
- c. private open space
- d. space for landscaping and vegetation.

PO 21.1

Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.

PO 21.2

Private open space is positioned to provide convenient access from internal living areas.

DTS/DPF 8.1

Other than walls located on a side boundary, building walls are set back from side boundaries:

- a. at least 900mm where the wall height is up to 3m
- b. other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and
- c. at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.

DTS/DPF 9.1

Dwelling walls are set back from the rear boundary at least:

- a. if the size of the site is less than 301m²—
 - i. 3m in relation to the ground floor of the dwelling
 - ii. 5m in relation to any other building level of the dwelling
- b. if the size of the site is 301m² or more—
 - i. 4m in relation to the ground floor of the dwelling
 - ii. 6m in relation to any other building level of the dwelling.

DTS/DPF 21.1

Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

DTS/DPF 21.2

Private open space is directly accessible from a habitable room.

Table 1 – Private Open Space

<i>Dwelling Type</i>	<i>Dwelling/Site Configuration</i>	<i>Minimum Rate</i>
<i>Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)</i>	<i>DTS/DPF 21.2</i> <i>Private open space is directly accessible from a habitable room.</i>	<i>Total private open space area:</i> a) <i>Site area <301m2: 24m2 located behind the building line.</i> b) <i>Site area ≥ 301m2: 60m2 located behind the building line.</i> <i>Minimum directly accessible from a living room: 16m2 / with a minimum dimension 3m.</i>

Having regard to the setbacks and siting of the proposed dwellings, the proposal is considered to be generally consistent with the quantitative standards of the Zone in that:

- The detached dwellings are to have a 5 metre front setback which is consistent with the adjacent dwelling at 9 Goodall Rd, Para Hills.
- Proposed walls located on external boundaries have a height of 2.7 metres, which is less than the 3 metre wall height contemplated by the Zone. While Residence 4 proposes two sections of wall on the external boundary, these propose relatively short lengths of 6.18 metres and 4.13 metres, occupying approximately 48% of this side boundary, which only marginally exceeds the 45% guidelines of DTS/DPF 7.1. Notwithstanding, it is recognised the proposed development does comprise internal boundary walls, however it is considered these will have minimal impacts outside the development site.
- The upper levels of Residence 1 and 2 are located generous distances from external boundaries. Residence 3 has an upper level side setback of 3.09m, which exceeds the DTS/DPF 8.1b guideline of 1.85 metres. Accordingly, it is considered there will be no unreasonable overshadowing impacts associated with the two storey design.
- Site coverage for the detached dwellings is around 44%, which is well below the 60% guideline indicated by DTS/DPF 3.1.
- Site coverage for the group dwellings varies slightly, however on average they offer a site coverage of around 62% which only marginally exceeds the 60% guideline.
- All dwellings align with the rear setbacks of DTS/DPF 9.1 and exceed the minimum private open space requirements of 24 sqm for allotments with a site area less than 301 as per the Design in Urban Areas Table 1 – Private Open Space.

Other than the on-boundary components (to external boundaries), and those internal boundary elements, the building setbacks are considered to be appropriate, particularly for the upper levels of the detached dwellings, and facilitated by the position of the communal driveway, allowing for a sense of space between the detached dwellings and between neighbouring sites.

For the above reasons, the proposed development is considered to be appropriate in terms of setbacks and siting.

Design and Appearance

All dwellings are of a contemporary design making use of a range of contemporary materials and colours, design elements and articulation offering positive appearance to the streetscape and neighbouring sites. While the development includes two storey form to Goodall Road, this low-rise form is anticipated in with General Neighbourhood Zone. In particular, the development responds to the Design in Urban Areas General Development Policies of the Planning and Design Code in the following ways:

- The dwellings incorporate large windows facing the street and communal driveway which allows for casual surveillance and provides a positive contribution to the streetscape;
- A clear point of entry is provided by way of a front porch incorporating a separate raised roof line and front door facing directly to the street;
- The single garage provided for each dwelling that is recessed behind the front wall of the respective dwellings and does not dominate the visual appearance of the dwellings as viewed from the street;
- A suitable area of private open space is provided to each dwelling which is directly accessible from an internal living space;
- The placement of living rooms and windows will provide a positive outlook for the occupiers of the dwellings;
- Adequate space is available for the storage of waste bins to either side of the detached dwellings behind the building line with access provided through the garage whereas the group dwellings have incorporated a bin storage area internally within the garage; and
- Areas of landscaping will be established along the common driveway reducing excessive hardstand areas and within the front yards facing Goodall Road enhancing the appearance of the land from the streetscape.

Accordingly, the proposal aligns with the following key relevant provisions of the Design in Urban Areas General Development policies module:

PO 17.1

Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.

PO 17.2

Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.

PO 18.1

DTS/DPF 17.1

Each dwelling with a frontage to a public street:

- a. *includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m*
- b. *has an aggregate window area of at least 2m² facing the primary street.*

DTS/DPF 17.2

Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.

DTS/DPF 18.1

Living rooms have an external outlook to provide a high standard of amenity for occupants.

PO 20.1

Garaging is designed to not detract from the streetscape or appearance of a dwelling.

PO 20.2

Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.

A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.

DTS/DPF 20.1

Garages and carports facing a street:

- a. are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling*
- b. are set back at least 5.5m from the boundary of the primary street*
- c. have a garage door / opening width not exceeding 7m*
- d. have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.*

DTS/DPF 20.2

Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:

- a. a minimum of 30% of the building wall is set back an additional 300mm from the building line*
- b. a porch or portico projects at least 1m from the building wall*
- c. a balcony projects from the building wall*
- d. a verandah projects at least 1m from the building wall*
- e. eaves of a minimum 400mm width extend along the width of the front elevation*
- f. a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm*
- g. a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.*

PO 21.1

Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.

PO 21.2

Private open space is positioned to provide convenient access from internal living areas.

PO 24.1

Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 21.1

Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

DTS/DPF 21.2

Private open space is directly accessible from a habitable room.

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- a. has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and*
- b. has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.*

Retaining wall and fencing

Due to the nature of the subject allotments sloping from East to West and to provide a minimum grade for the internal driveway to the street, retaining walls have been utilized to achieve the required bench level while seeking to minimise the overall impact to the adjacent properties.

The following general development policy in the Design in Urban Areas Overlay are considered relevant.

PO 9.1

Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.

DTS/DPF 21.2

None are applicable

With the lowest natural ground level being at the south western corner of the subject site, the development proposes a 1.2m high retaining wall at the highest point on the side and rear boundaries of proposed residence 7. The retaining wall along the rear boundary will have a height exceeding 1m for a 2m length with a 1.8m high fence. The retaining wall on the western side boundary also with a 1.8m high fence will extend for a 10.75m length varying in height between 1.1m and 1.2m. The retaining wall then reduces to a height of 1m for a length of 14m, then gradually reduces in height towards the front boundary to a maximum height of 200mm forward of proposed residence 3.

The retaining walls, at the maximum height, run across the rear boundaries of the allotments facing Todd Road and St Clair Avenue (41 & 43 Todd Street and 6 St Clair Avenue), not in close proximity to the dwellings or structures on these allotments. In order to reduce the height of retaining at this point, residence 7 is also proposed to have a split floor level.

The floor level of residence 3 is also comparatively lower than residence 2 (by 500mm) so that there is minimal retaining adjacent 9 Goodall Road, noting there is an existing retaining wall on the eastern side boundary of 9 Goodall Rd of some 900mm.

Given the natural fall of the land and the need to provide an overland flow path for stormwater for the internal driveway, the filling and retaining walls proposed are considered to be appropriate as the development minimises their overall impact to the adjacent properties.

Overlooking / Visual Privacy

Given the two storey design of the detached dwellings it is relevant to consider potential overlooking impacts associated with the proposal. The following visual privacy provisions of the Design in Urban Areas General Development policies module are considered relevant:

<p>PO 10.1 <i>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</i></p>	<p>DTS/DPF 10.1 <i>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</i></p> <ol style="list-style-type: none"> <i>1. are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</i> <i>2. have sill heights greater than or equal to 1.5m above finished floor level</i> <i>3. incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</i>
<p>PO 10.2 <i>Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</i></p>	<p>DTS/DPF 10.2 <i>One of the following is satisfied:</i></p> <ol style="list-style-type: none"> <i>1. the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</i> <p><i>or</i></p> <ol style="list-style-type: none"> <i>2. all sides of balconies or terraces on upper building levels are</i>

	<p><i>permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</i></p> <ol style="list-style-type: none"> <i>1. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</i> <p><i>or</i></p> <ol style="list-style-type: none"> <i>2. 1.7m above finished floor level in all other cases</i>
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It is considered the development aligns with these provisions given all upper level windows to the sides and rear of the detached dwellings have a minimum sill height or will be obscured to a height of at least 1.5m above the upper storey finished floor level. While there is no screening proposed to the front upper level windows (bed 2), this is seen to be appropriate given they are oriented towards the street.

While there is no corresponding policy, it is considered that potential for overlooking from ground level areas will be managed by way of boundary fencing and associated civil works.

Transport, Access and Parking

The following key access and parking provisions of the Design in Urban Areas General Development policies module are considered relevant:

PO 23.1

Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.

DTS/DPF 23.1

Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):

- a. single width car parking spaces:*
 - i. a minimum length of 5.4m per space*
 - ii. a minimum width of 3.0m*
 - iii. a minimum garage door width of 2.4m*
- b. double width car parking spaces (side by side):*
 - i. a minimum length of 5.4m*
 - ii. a minimum width of 5.4m*
 - iii. minimum garage door width of 2.4m per space.*

PO 23.2

Uncovered car parking space are of dimensions to be functional, accessible and convenient.

DTS/DPF 23.2

Uncovered car parking spaces have:

- a. a minimum length of 5.4m*
- b. a minimum width of 2.4m*

PO 23.3

Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.

PO 23.4

Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.

- c. *a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.*

DTS/DPF 23.3

Driveways and access points satisfy (a) or (b):

- a. *sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site*
- b. *sites with a frontage to a public road greater than 10m:*
 - i. *have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;*
 - ii. *have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.*

DTS/DPF 23.4

Vehicle access to designated car parking spaces satisfy (a) or (b):

- a. *is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land*
- b. *where newly proposed, is set back:*
 - i. *0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner*
 - ii. *2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance*
 - iii. *6m or more from the tangent point of an intersection of 2 or more roads*
 - iv. *outside of the marked lines or infrastructure dedicating a pedestrian crossing.*

Table 1 - General Off-Street Car Parking Requirements provides:

- Detached Dwelling - Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
- Group Dwelling - Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
 - 0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.

The proposal aligns with these key provisions as follows:

- Each detached dwelling provides one covered and one visitor parking space;
- Each group dwelling provides one covered and one visitor parking space;
- Three on-street spaces are retained forward of the detached dwellings, located between the proposed driveways;
- Two communal visitor spaces are accommodated within the common driveway. This aligns with the Table 1 guideline which suggests 2 visitor spaces should be accommodated;
- All garage and visitor spaces satisfy the dimensions (length and width) prescribed in the Planning and Design Code; and
- All driveways are clear of existing infrastructure.

12. CONCLUSION

This report has provided a detailed assessment of the application against the relevant provisions of the Planning and Design Code. The assessment found that the proposed development:

- Is consistent with the land uses sought by the General Neighbourhood Zone and is appropriate within the context of the locality;
- On balance, the proposed site areas and density outcomes are appropriate given the intent of the General Neighbourhood Zone to support medium density outcomes in appropriate locations, in the context of the locality;
- While offering a contemporary design, and proposing two storey designs for the detached dwellings, the designs are considered compatible with the emerging character of the area, and will present appropriately to the street and neighbouring properties, allowing for casual surveillance opportunities;
- The dwellings have been appropriately sited with respect to the primary street, neighbouring sites and there are no overshadowing impacts. While on-boundary components are proposed to external boundaries, these are single storey in nature and of short lengths which is seen to be appropriate;
- The dwellings are provided with sufficient areas of private open space;
- Adequate on-site car parking will be provided;
- The amount of cut and fill is balanced and the height of retaining walls and fencing is not inappropriate within the context of this locality; and
- Stormwater has been appropriately managed.

Accordingly, it is recommended that Planning Consent be granted, subject to conditions and reserved matters.

13. STAFF RECOMMENDATION

That the Council Assessment Panel resolve that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to 107 of the *Planning, Development and Infrastructure Act 2016*, Planning Consent is **GRANTED** to application number 22031936 for construction of Three (3) Two Storey Detached Dwellings in a Terrace Arrangement and Four (4) Group Dwellings with associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m in accordance with the plans and details submitted with the application and subject to the following Reserved Matters and Conditions:

Reserved Matters:

The following matter/s shall be submitted for further assessment and approval by the Assessment Manager, as delegate of the Council Assessment Panel, as Reserved Matters under Section 102(5) of the *Planning, Development and Infrastructure Act 2016*:

- 1. Civil and Siteworks Plan, prepared by a qualified and experienced stormwater engineer, for all civil and stormwater works, which shall address all of the following:
 - a. Finished floor levels for all buildings and hardstand surfaces; and
 - b. Cut/fill details; and
 - c. Retaining walls, kerbing or ramps, their design and grades; and
 - d. Pavement design details and gradients; and
 - e. Car parking dimensions, aisle widths, circulation movements and associated pavement markings and signage; and
- 2. Final landscaping plan, prepared by a qualified and experienced landscape architect or horticulturalist, which shall include all of the following:
 - a) Final locations for all landscaped areas, including designated areas for trees, shrubs and groundcovers; and
 - b) Designated species to be used, noting should comprise species contained in the City of Salisbury Landscape Plan; and
 - c) Shade trees within the car parking areas; and
 - d) Pot sizes, confirming the tree planting shall comprise advanced growth species at time of planting; and
 - e) Maintenance methods including irrigation, barriers and protection from vehicles and pedestrians.

Development Plan Consent Conditions

1. The development shall be carried out in accordance with the details submitted with the application and the following stamped approved plans and documents, except where otherwise varied by the conditions herein:

Drawing No.	Plan Type	Date	Prepared By
837 - Rev D	Site Plan - Lower	9 Mar 2023	InProperty Design
837 - Rev D	Site Plan - Upper	9 Mar 2023	InProperty Design
837 - Rev D	Floor Plan – Res 1 -3	9 Mar 2023	InProperty Design
837 - Rev D	Elevation Plan (Two Storey)	9 Mar 2023	InProperty Design
837 - Rev D	Floor Plan – Res 4-6	9 Mar 2023	InProperty Design
837 - Rev D	Elevation Plan (Single Storey)	9 Mar 2023	InProperty Design
837 – Rev D	Floor Plan – Res 7	9 Mar 2023	InProperty Design
837 – Rev D	Elevation Plan – Res 7	9 Mar 2023	InProperty Design
837 – Rev D	Streetscape	9 Mar 2023	InProperty Design
837 – Rev D	Fence Elevation Plan	9 Mar 2023	InProperty Design

2. The external surfaces of the building shall:
 - Be of new non-reflective materials; and
 - Be finished in natural tones; and
 - Be maintained in good condition at all times.
3. Except where otherwise approved, the freestanding sides of any alfresco, verandah or pergola shall not be enclosed with any solid material.
4. The invert, crossover and driveway shall be constructed, prior to commencement of use, in accordance with Council's Vehicle Crossover Standard Detail, Drawing SD-12, SD-13 and SD-14.
5. All driveway, car parking and manoeuvring areas designated on the Civil Plan approved under reserved matter 1 shall be constructed with brick paving or concrete. The driveway and car parking area shall be established, prior to grant of the Certificate of Occupancy and shall be maintained at all times thereafter to the reasonable satisfaction of Council.
6. All existing crossovers made redundant by this development shall be reinstated to kerb, prior to commencement of use, in accordance with Council's kerb design standard, to the satisfaction of Council.

7. The designated landscaping areas shall be planted with shade trees, shrubs and ground covers in accordance with the Approved Landscaping Plan approved under Reserved Matter 2. All landscaping shall be completed within 3 months from grant of the Certificate of Occupancy and shall be maintained at all times thereafter to the reasonable satisfaction of Council (including the replacement of diseased or dying plants and the removal of weeds and pest plants).
8. All side and rear windows fixed to the upper storey walls of the building shall have a sill height of at least 1.5m above finished floor level or where the sill height is less than 1.5m above finished floor level, the window shall be fixed, unable to be opened and provided with translucent glass or film up to a height of 1.5m above finished floor level. The above window treatments shall be established prior to occupation of the dwelling and shall be maintained to the reasonable satisfaction of Council.

Note: Other forms of privacy screening may be a suitable alternative to the above such as fixed external screens, so long as it can be demonstrated to Council that the alternative screening solution will prevent overlooking. Should you wish to use an alternative screening method, you will be required to lodge a Development Application to vary the above condition.

9. Soft landscaping shall be provided on the site within 12 months from the date of occupation of the dwelling in accordance with all of the following:
 - a. At least 20% of the site area; and
 - b. At least 30% of any land between the primary street boundary and the primary building line.
10. The soft landscaping shall be designated and maintained in good health and condition at all times.

Note: Soft landscaping means "Landscaped areas that are pervious and capable of supporting the growth of plant species. It does not include artificial turf or any form of pervious paving or paved/hardstand areas used for pedestrian and/or vehicle movement.

11. Tree planting shall be undertaken within 12 months from the date of occupation of the dwelling in accordance with the following table:
 - Where allotment is less than 450 square metres, 1 small tree; or
 - Where allotment between 450 square metres and 800 square metres, 1 medium tree or 2 small trees; or
 - Where allotment between 800 square metres, 1 large tree or 2 medium trees or 4 small trees.
12. Except where otherwise Approved, the tree planting shall be maintained in good health and condition at all times thereafter.

Note: For meaning of tree sizes, please refer to the Urban Tree Canopy Overlay, Planning and Design Code.

13. Rainwater tank storage shall be provided, prior to occupation of the dwelling, in accordance with all of the following:
- i. Connected to at least 60% of the roof area; and
 - ii. Connected to one toilet;
 - iii. The laundry cold water outlets or hot water service; and
 - iv. Have a minimum tank capacity of 2,000 litres for retention; and
 - v. Where site perviousness is less than 30% of the total site area, 1,000 litres for detention; and
 - vi. Where detention is required, includes a 20-25mm diameter slow release orifice at bottom of the detention component of the tank (or tanks).

The rainwater tank storage shall remain in place at all times thereafter.

14. Rainwater tank storage shall be provided, prior to occupation of the dwelling, in accordance with all of the following:
- i. Connected to at least 60% of the roof area; and
 - ii. Connected to one toilet; and
 - iii. The laundry cold water outlets or hot water service; and
 - iv. Have a minimum tank capacity of 4,000 litres for retention; and
 - v. Where site perviousness is less than 35% of the total site area, 1,000 litres for detention; and
 - vi. Where detention is required, includes a 20-25mm diameter slow release orifice at bottom of the detention component of the tank (or tanks).

The rainwater tank storage shall remain in place at all times thereafter.

Advice Notes

1. Building Consent and Development Approval must be obtained within 24 months from the date of this Notification, unless this period has been extended by the Council. Work cannot commence until a Development Approval is obtained.
2. This Development Approval does not constitute land owner's approval. The following applies to any works on Council land:
 - a) Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or

- over Council land, is subject to a permit from Council pursuant to Section 221 of the *Local Government Act 1999*.
- b) Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from roof expansion.
 - c) Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and therefore permission should be first sought from Council before commencing any works;
 - d) It is the developers/owner's responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.
3. Except where otherwise varied by this Consent, the conditions imposed herein shall be in addition to conditions that apply to the site from previous approvals that remain active.
 4. This Decision Notification Form does not extend the operative period of Development Consent 22031936. You must have obtained Building Consent and Development Approval on or before 26 April 2025, otherwise the Consent will lapse and a new Application must be lodged, unless an extension is obtained.
 5. The Council approved plans should be available at all times while performing the building work.
 6. It is your responsibility to ensure that any building work is correctly sited with respect to the property boundaries of the site and it is strongly recommended that a boundary survey be undertaken before any work commences to ensure the building work is accommodated within the designated footprint and achieves the designated boundary setbacks.
 7. You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the *Fences Act 1975*. To find out more, please visit:
<https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>
 8. The applicant is reminded that demolition and construction is required to be carried out so that it complies with the mandatory construction noise provisions of Part 6, Division 1 of the *Environment Protection (Noise) Policy 2007* and the provisions of the *Local Nuisance and Litter Control Act 2016*. Under the *Local Nuisance and Litter Control Act 2016*, construction noise is declared to constitute a local nuisance as follows:

The noise has travelled from the location of the construction activity to neighbouring premises –

- *On any Sunday or public holiday;*
- *After 7pm or before 7am on any other day.*

9. Pursuant to Section 139 of the *Planning, Development and Infrastructure Act 2016*, a person undertaking activity that affects stability of land or premises must serve notice in the prescribed form to the owner of the affected site. For the purposes of Section 139, work of the following nature is prescribed as building work which is to be treated for the purposes of that section as building work that affects the stability of other land or premises, namely:

- (a) An excavation which intersects a notational plane extending downwards at a slope of 1 vertical to 21 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site;
- (b) An excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation;
- (c) Any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200mm in depth (or height) and is for landscaping, gardening or other similar purposes.

To find out more, please visit: <https://lawhandbook.sa.gov.au/ch28s02s06s03.php>

10. The applicant is reminded of its general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practicable measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.

In addition, the applicant is responsible for ensuring the development (including demolition, civil works and construction activities) do not cause a 'local nuisance' under the Local Nuisance and Litter Control Act 2016

Accordingly, your site planning activities should consider:

- providing a stabilised entry/exit point to the site for all construction and trade vehicles, including contained wash down area for vehicles and equipment
- appropriately located stockpiles and storage materials
- a suitable and designated area for brick cutting and concrete works
- a contained area for paint and plastering waste and wash waters
- appropriate location of noisy equipment so as to avoid unreasonable impacts to neighbours
- dust control measures such as use of a water cart and/or covering stockpiles

Note: EPA information sheets, guidelines documents, codes of practice, technical bulletins etc. can be accessed on the following web site: <http://www.epa.sa.gov.au>.

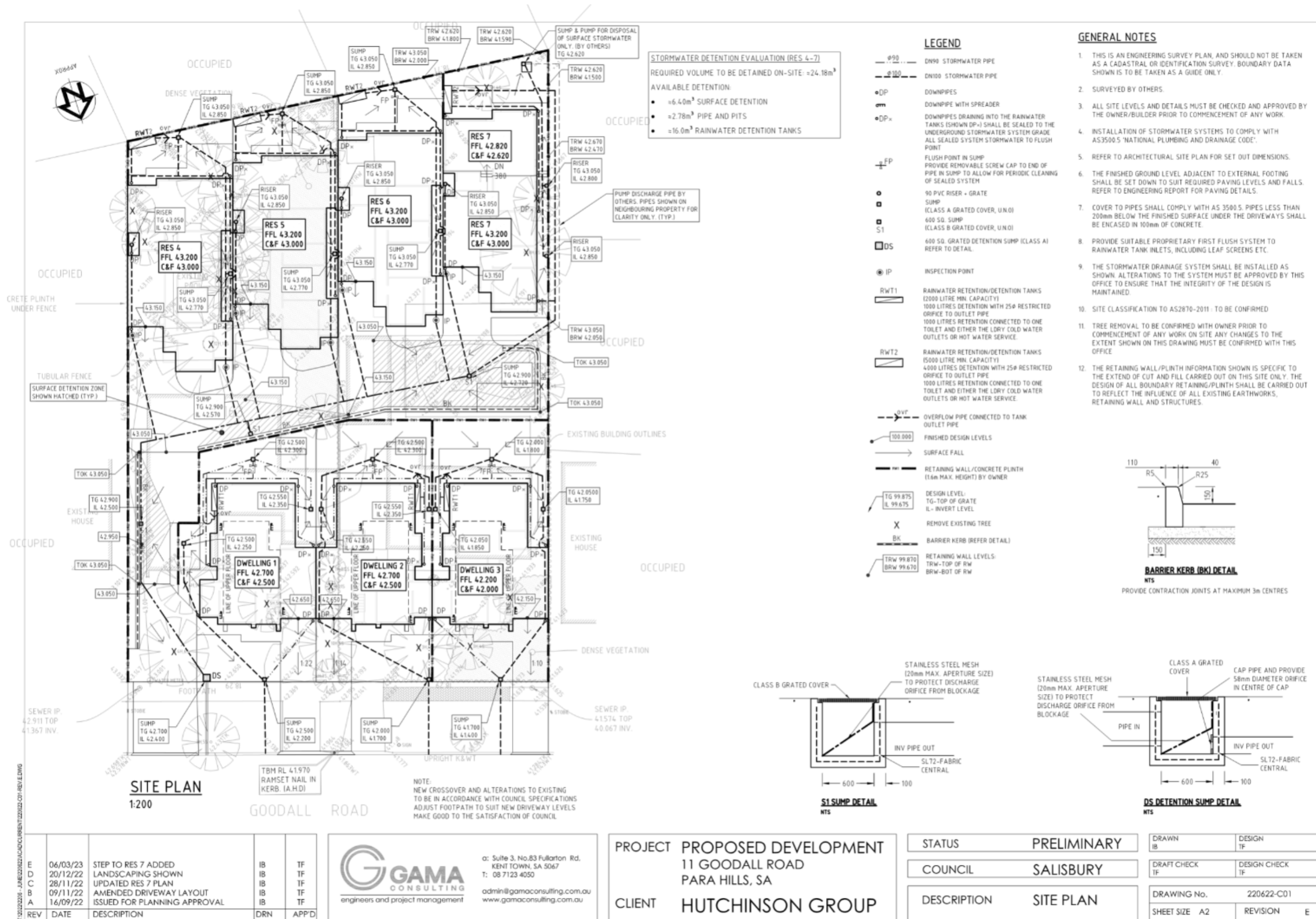
ATTACHMENTS

This document should be read in conjunction with the following attachments:

1. Proposal Plans and Supporting Documentation
2. Copy of Sign Displayed on the Land and Representations
3. Applicant's Response to Representations
4. Extract of Planning and Design Code

Appendix 1

Proposal Plans and Supporting Documentation



STORMWATER DETENTION DESIGN FOR ALL RESIDENCES**1. EXISTING AREA:**

Existing flow is based on : **ARI = 1:5 YEARS, TC = 5 MIN**
 Intensity = 81.50 mm/hr
 Soil type = Clayey (C = 0.35)
 Site area = 1118 m²
 Existing roof area (C=1.0) = 102 m² 2.31 L/S
 Existing paving area (C=0.9) = 188 m² 3.19 L/S
 Open area = 828 m² 5.62 L/S
Existing flow Q = 8.86 L/S

$$Q = \frac{C \times I \times A}{3600}$$

2. NEW CONSTRUCTION :

		Area to St
Roof Area Res 1	103 m ²	0 m ²
Roof Area Res 2	103 m ²	21 m ²
Roof Area Res 3	100 m ²	2 m ²
Roof Area Res 4	100 m ²	2 m ²
New roof area =	407 m ²	
New Paving Area =	435 m ²	
New Site Area =	335 m ²	
Roof area to street =	0 m ²	C=1.0
Paving to street =	47 m ²	C=0.75
Site area to street =	0 m ²	C=0.30
Flow direct to street =	1.70 L/S	
Allowable flow from tank =	1.65 L/S	
Allowable flow from detention =	5.50 L/S	
Roof area to tank =	407 m ²	
Paving area detained	388 m ²	

TOTAL FLOW TO STREET = 8.86 L/SDetention volume based on: 1 in 100 years storm.**RWT**

DURATION	INTENSITY (MM/HR)	VOLUME IN (L)	VOLUME OUT (L)	VOLUME (L)
5 min	174.00	5901.50	742.50	5159.00
10 min	127.00	8614.83	990.00	7624.83
15 min	102.00	10378.50	1237.50	9141.00
20 min	86.70	11762.30	1485.00	10277.30
25 min	75.90	12871.38	1732.50	11138.88
30 min	68.00	13838.00	1980.00	11858.00
45 min	52.70	16086.68	2722.50	13364.18
60 min	43.60	17745.20	3465.00	14280.20
90 min	33.30	20329.65	4950.00	15379.65
120 min	27.30	22222.20	6435.00	15787.20
180 min	20.60	25152.60	9405.00	15747.60
270 min	15.40	28205.10	13860.00	14345.10
360 min	12.50	30525.00	18315.00	12210.00
	#N/A			

←Critical

15787.20

Underground Detention

DURATION	INTENSITY (MM/HR)	VOLUME IN (L)	VOLUME OUT (L)	VOLUME (L)
5 min	174.00	5901.50	2477.18	3424.32
10 min	127.00	8614.83	3302.91	5311.93
15 min	102.00	10378.50	4128.64	6249.86
20 min	86.70	11762.30	4954.36	6807.94
25 min	75.90	12871.38	5780.09	7091.29
30 min	68.00	13838.00	6605.82	7232.18
45 min	52.70	16086.68	9083.00	7003.68
60 min	43.60	17745.20	11560.18	6185.02
90 min	33.30	20329.65	16514.54	3815.11
120 min	27.30	22222.20	21468.90	753.30
180 min	20.60	25152.60	31377.63	-6225.03
270 min	15.40	28205.10	46240.72	-18035.62
360 min	12.50	30525.00	61103.80	-30578.80
	#N/A			

←Critical

7232.18

3. ORIFICE SIZE - RWT

For H_{avg} = 1.00 m
 V = 4.43 m/s
 Q (from tank) = 0.41 L/S
 A = 1.5E-04 m²
 Maximum Orifice Diameter = **14 mm**

3. ORIFICE SIZE - DETENTION

For H_{avg} = 1.00 m
 V = 4.43 m/s
 Q (from detention area) = 5.50 L/S
 A = 2.0E-03 m²

SITE NOTES

BUILDER TO CHECK AND CONFIRM ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTATION AND / OR ON SITE ARE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMENCED

ALL WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT LOCAL AUTHORITY REQUIREMENTS

FOUNDATIONS, EXCAVATIONS, REINFORCEMENT PLACEMENT, ETC. TO BE INSPECTED AND APPROVED BY ENGINEER OR BUILDING SURVEYOR PRIOR TO ANY CONCRETE PLACEMENT

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

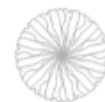
NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT PRIOR APPROVAL OF THE PROPRIETOR OR DESIGNERS

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

STORMWATER TO BE DISCHARGED TO STREET WATERTABLE OR RAINWATER TANK IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND/OR DIRECTION

SURFACE WATER RUN-OFF FROM NOT LESS THAN 50sqm OF ROOF CATCHMENT AREA TO BE STORED IN 1000L RAIN WATER TANK AND, PLUMBED TO EITHER A TOILET, WATER HEATER OR LAUNDRY COLD WATER AND, INLET/OVERFLOW ON RAIN WATER TANK MUST BE FITTED WITH INSPECT PROOF AND NON DEGRADABLE SCREENS

SMALL TREES



ORNAMENTAL PEAR
Pyrus calleryana 'Capital'
(4m Height / 2m spread)

SITE PLAN - LOWER

SCALE 1:250



PROPOSED DEVELOPMENT

RES 1	
SITE AREA:	228m ²
POS: (REAR YARD):	51m ² (22%)
SITE COVERAGE:	100m ² (44%)
SOFT LANDSCAPE:	64m ² (28%)
RES 2	
SITE AREA:	230m ²
POS: (REAR YARD):	50m ² (22%)
SITE COVERAGE:	100m ² (44%)
SOFT LANDSCAPE:	77m ² (32%)
RES 3	
SITE AREA:	230m ²
POS: (REAR YARD):	50m ² (22%)
SITE COVERAGE:	100m ² (44%)
SOFT LANDSCAPE:	99m ² (38%)
RES 4-7	
SITE AREA:	203m ² (200m ² AVERAGE)
POS: (REAR YARD):	40m ² (19%)
SITE COVERAGE:	126m ² (62%)
SOFT LANDSCAPE:	28m ² (13%)

REVISION

D

JOB# 837

in property
Design

Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

01 OF 10

Scale at A3

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SITE NOTES

BUILDER TO CHECK AND CONFIRM ALL LEVELS
AND DIMENSIONS PRIOR TO COMMENCEMENT OF
CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTATION AND /
OR ON SITE ARE TO BE REPORTED TO THE
DESIGNER BEFORE ANY WORK IS COMMENCED

ALL WRITTEN DIMENSIONS TO TAKE PREFERENCE
OVER SCALED DIMENSIONS.

ALL WORK TO BE IN ACCORDANCE WITH THE
BUILDING CODE OF AUSTRALIA AND RELEVANT
LOCAL AUTHORITY REQUIREMENTS

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PLACEMENT, ETC. TO BE INSPECTED AND
APPROVED BY ENGINEER OR BUILDING SURVEYOR
PRIOR TO ANY CONCRETE PLACEMENT

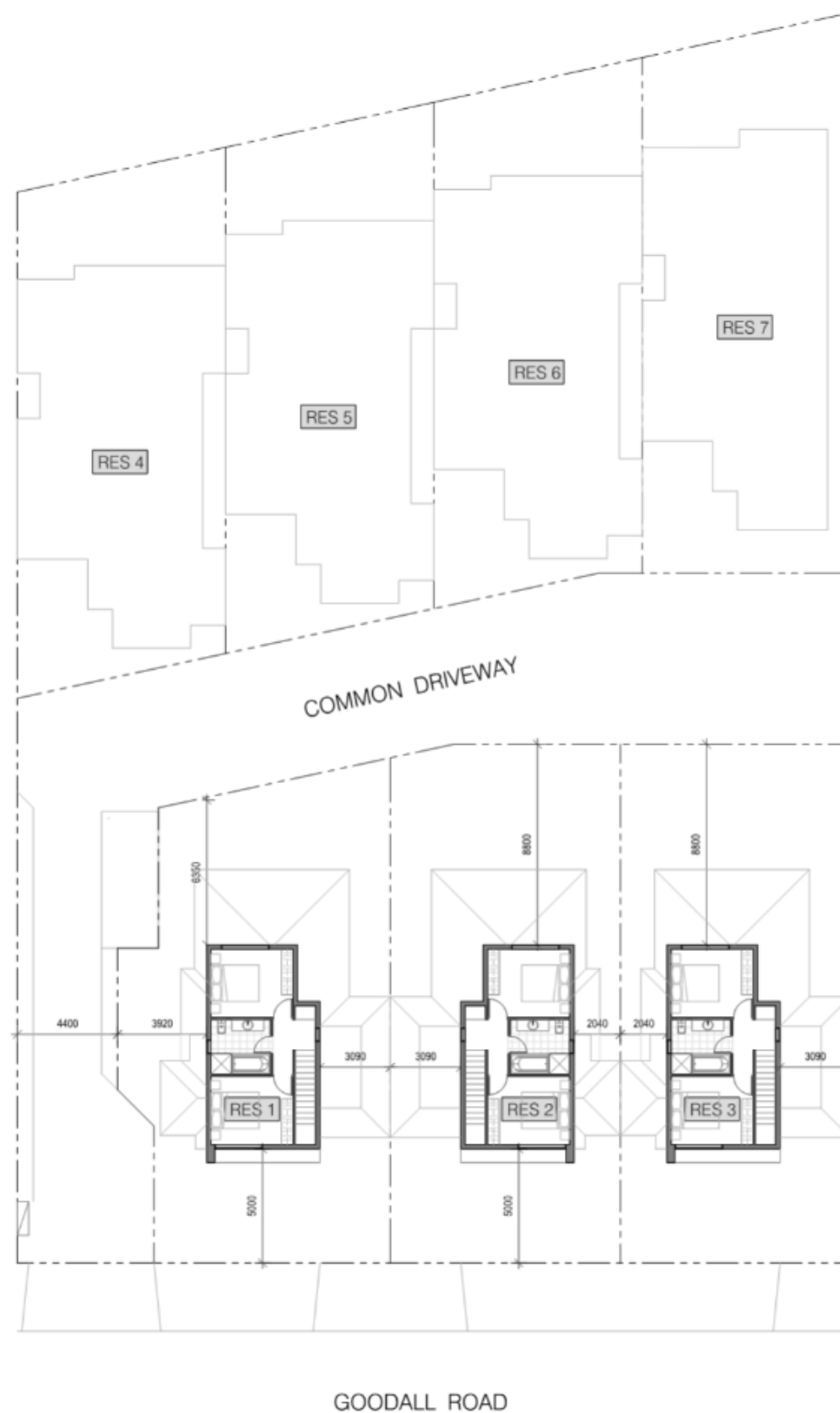
GROUND LEVELS AND FINISHED FLOOR LEVELS
INDICATED ARE APPROXIMATE ONLY AND ARE TO
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NO VARIATION MAY BE MADE TO THIS DRAWING
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OR DESIGNERS

REFER TO ENGINEERS DESIGN, DOCUMENTATION,
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DETAILS (IF APPLICABLE)

STORMWATER TO BE DISCHARGED TO STREET
WATERTABLE OR RAINWATER TANK IN
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AND/OR DIRECTION

SURFACE WATER RUN-OFF FROM NOT LESS THAN 50sqm OF ROOF CATCHMENT AREA TO BE STORED IN 1000L RAIN WATER TANK AND, PLUMBED TO EITHER A TOILET, WATER HEATER OR LAUNDRY COLD WATER AND, INLET/OVERFLOW ON RAIN WATER TANK MUST BE FITTED WITH INSPECT PROOF AND NON DEGRADABLE SCREENS



SITE PLAN - UPPER

SCALE 1:250

PROPOSED DEVELOPMENT

RES 1
SITE AREA: 228m²
POS: (REAR YARD) 51m² (22%)
SITE COVERAGE: 100m² (44%)
SOFT LANDSCAPE: 64m² (28%)

RES 2
SITE AREA: 230m²
POS: (REAR YARD) 50m² (22%)
SITE COVERAGE: 100m² (44%)
SOFT LANDSCAPE: 77m² (32%)

RES 3
SITE AREA: 230m²
POS: (REAR YARD) 50m² (22%)
SITE COVERAGE: 100m² (44%)
SOFT LANDSCAPE: 99m² (38%)

RES 4-7
SITE AREA: 203m² (290m² AVERAGE)
POS: (REAR YARD) 40m² (19%)
SITE COVERAGE: 126m² (62%)
SOFT LANDSCAPE: 28m² (13%)



REVISION

837

Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

02 of 10

scale at A3

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GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMENCED

BUILDING TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1-2014

ALL GLAZING WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288-2006 AND/OR AS 2047-2014

ALL WATERPROOFING IN WET AREAS WILL BE IN ACCORDANCE WITH AS 3740-2010 AND BCA-TABLE 3.8.1.1

SELF CONTAINED SMOKE ALARMS WILL COMPLY WITH AS 3786, CONNECTED TO CONSUMER MAINS POWER AND WILL BE INTERCONNECTED (IF MORE THAN 1)

ALL PARAPETS TO BE PROVIDED WITH METAL CAPPING EXTENDING DOWN 50mm & SARKING IN ACCORDANCE WITH 3.5.4.8 OF THE BCA

SARKING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS /NZ S42100.1 & 2

MECHANICAL EXHAUST FANS MUST ACHIEVE A FLOW RATE OF:
- 25L/s IN BATHROOM & SANITARY COMPARTMENT
- 40L/s IN KITCHEN & LAUNDRY
MECHANICAL EXHAUST FAN TO DISCHARGE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR

STORMWATER & DRAINAGE TO BE COMPLETED IN ACCORDANCE WITH AS/NZ 3500.3 -2018

OVERFLOW PROVISIONS TO DOWNPIPE & GUTTER SYSTEM IN ACCORDANCE WITH WITH CLAUSE 3.5.3.4

BOX GUTTER min. SIZE 75mm x 200mm & DRAIN VIA SUMP OR RWH

PROPOSED RESIDENCE

LWR LIVING: 80.98m²
GARAGE: 19.43m²
UPR LIVING: 42.06m²

TOTAL: 142.47m²



FLOOR PLAN - RES 1-3
SCALE 1:100

REVISION

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JOB# 837

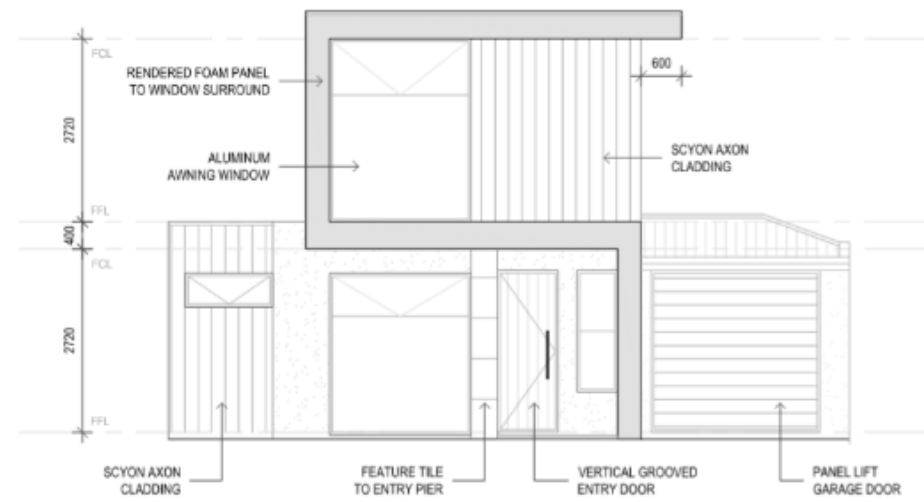
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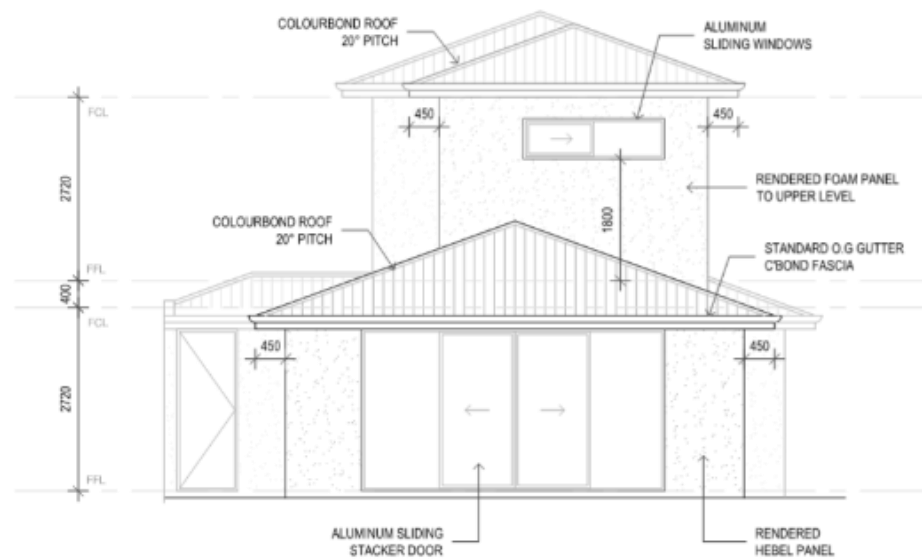
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03 OF 10
Scale at A3

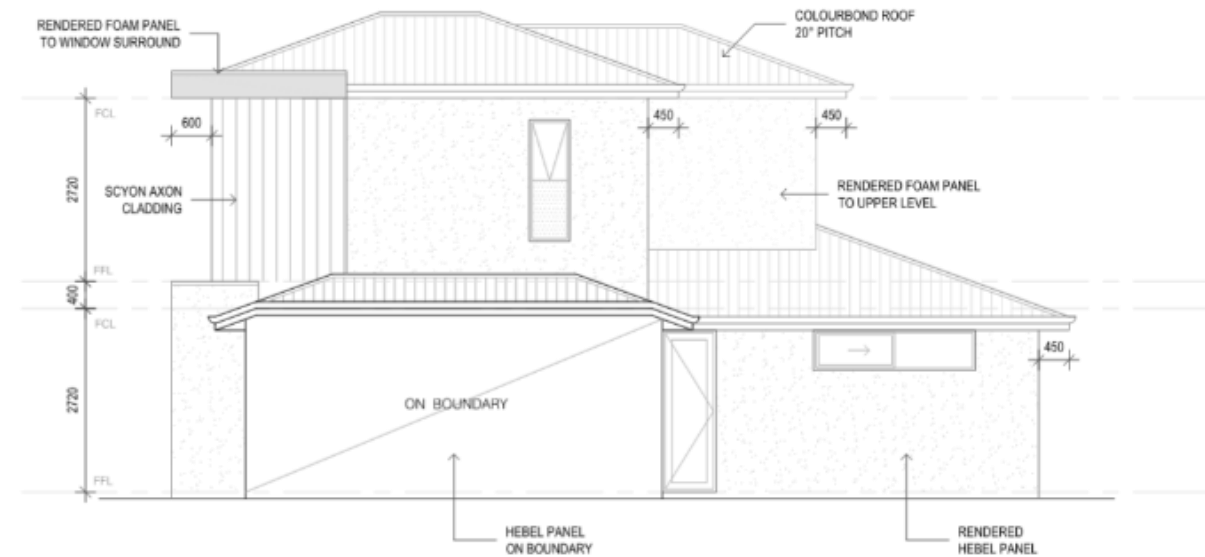
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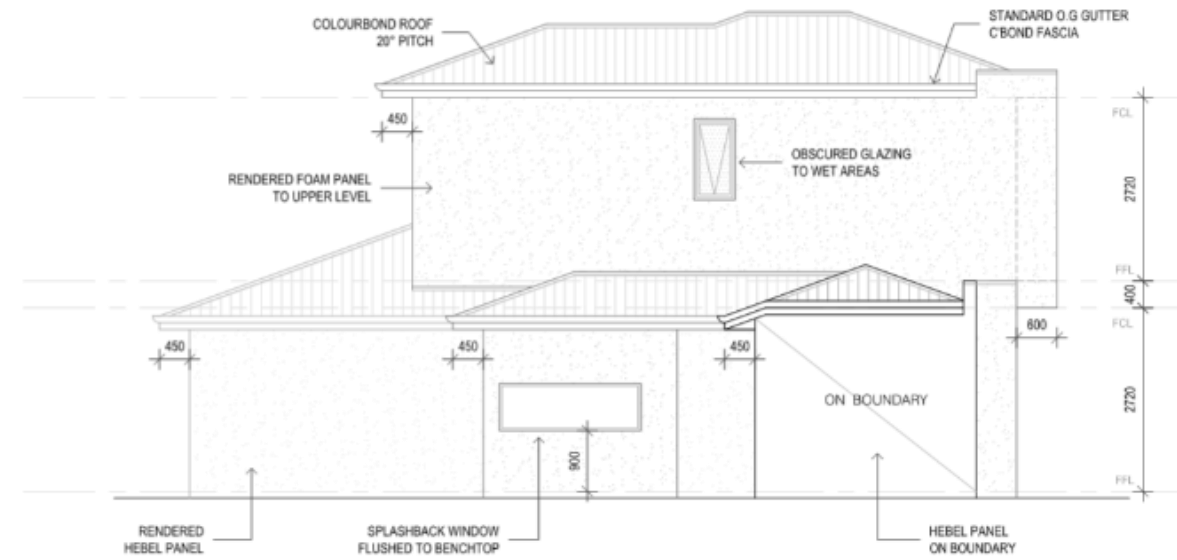
FRONT ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100

GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMENCED

BUILDING TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1-2014

ALL GLAZING WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288-2006 AND/OR AS 2047-2014

ALL WATERPROOFING IN WET AREAS WILL BE IN ACCORDANCE WITH AS 3740-2010 AND BCA-TABLE 3.8.1.1

SELF CONTAINED SMOKE ALARMS WILL COMPLY WITH AS 3786, CONNECTED TO CONSUMER MAINS POWER AND WILL BE INTERCONNECTED (IF MORE THAN 1)

ALL PARAPETS TO BE PROVIDED WITH METAL CAPPING EXTENDING DOWN 50mm & SARKING IN ACCORDANCE WITH 3.5.4.8 OF THE BCA

SARKING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS /NZ S42100.1 & 2

MECHANICAL EXHAUST FANS MUST ACHIEVE A FLOW RATE OF:

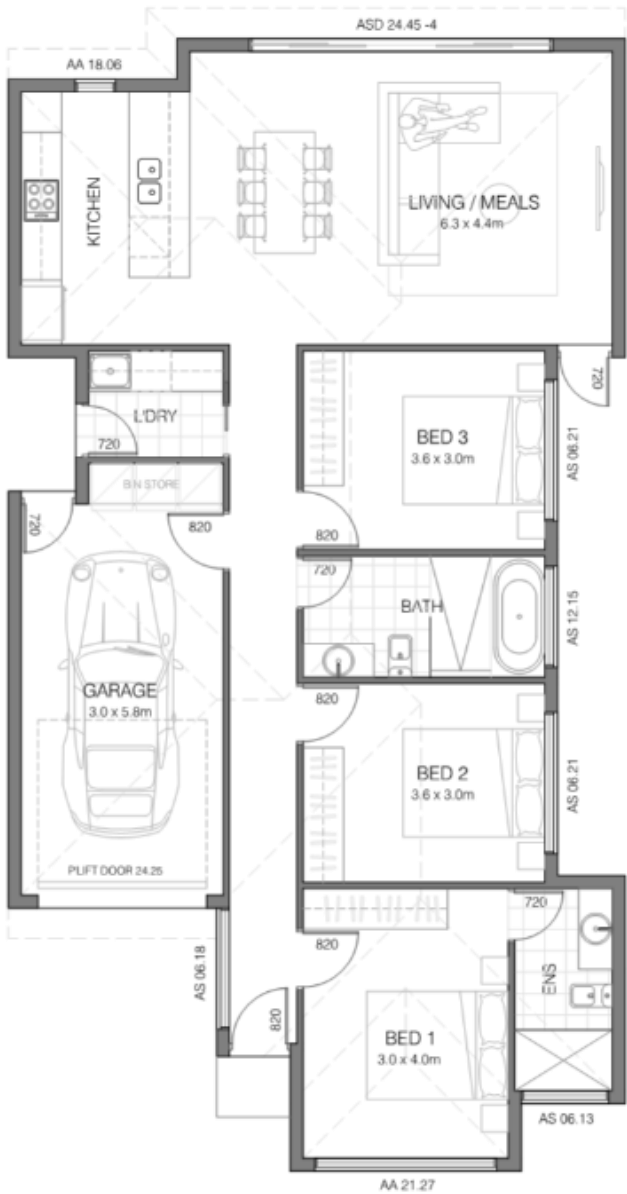
- 25L/s IN BATHROOM & SANITARY COMPARTMENT
- 40L/s IN KITCHEN & LAUNDRY

MECHANICAL EXHAUST FAN TO DISCHARGE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR

STORMWATER & DRAINAGE TO BE COMPLETED IN ACCORDANCE WITH AS/NZ 3500.3 -2018

OVERFLOW PROVISIONS TO DOWNPIPE & GUTTER SYSTEM IN ACCORDANCE WITH WITH CLAUSE 3.5.3.4

BOX GUTTER min. SIZE 75mm x 200mm & DRAIN VIA SUMP OR RWH



PROPOSED RESIDENCE	
LIVING:	106.34m ²
GARAGE:	20.59m ²
TOTAL:	126.93m ²

FLOOR PLAN - RES 4-6
SCALE 1:100



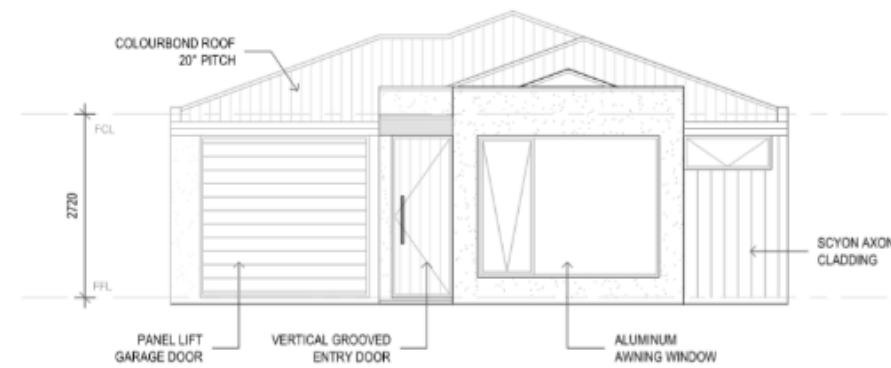
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JOB# 837

Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

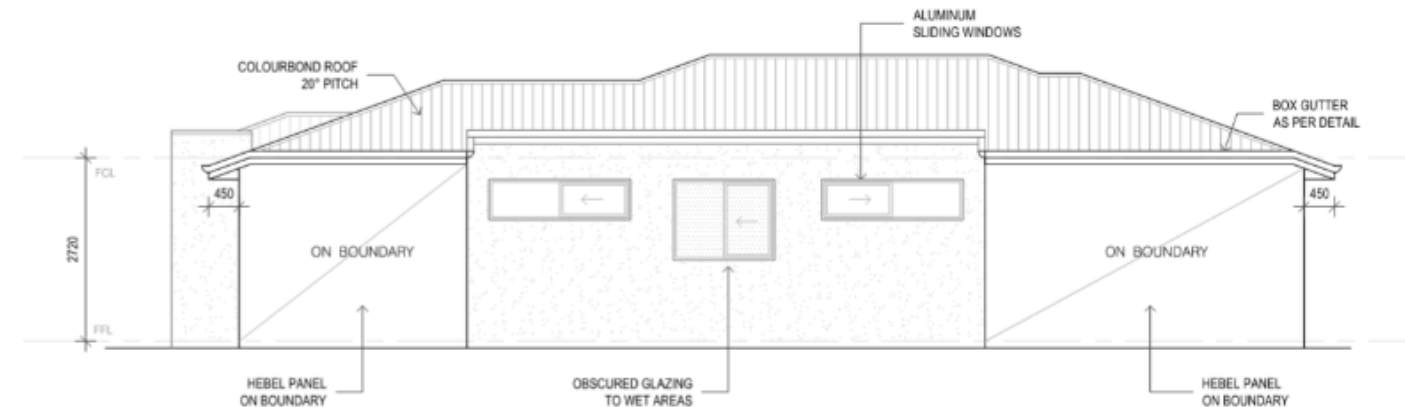
05 OF 10
Scale at A3

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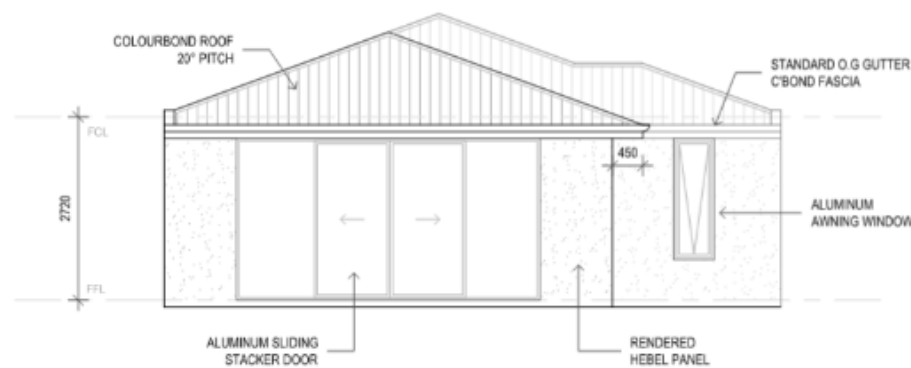
design@inpropertydesign.com.au | 0407 388 437 | www.inpropertydesign.com.au



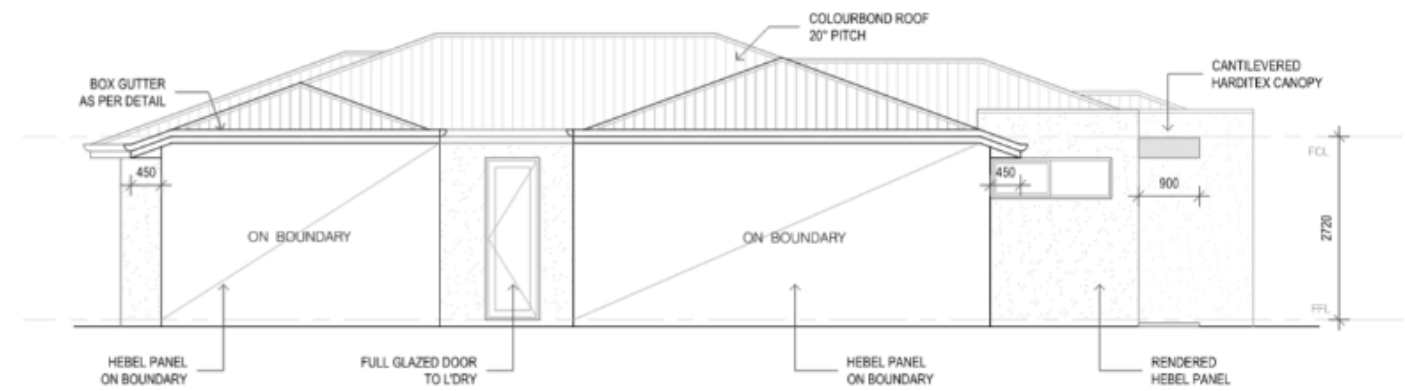
FRONT ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100

GENERAL NOTES

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AND SPECIFICATIONS

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WITH AS/NZ S42100.1 & 2

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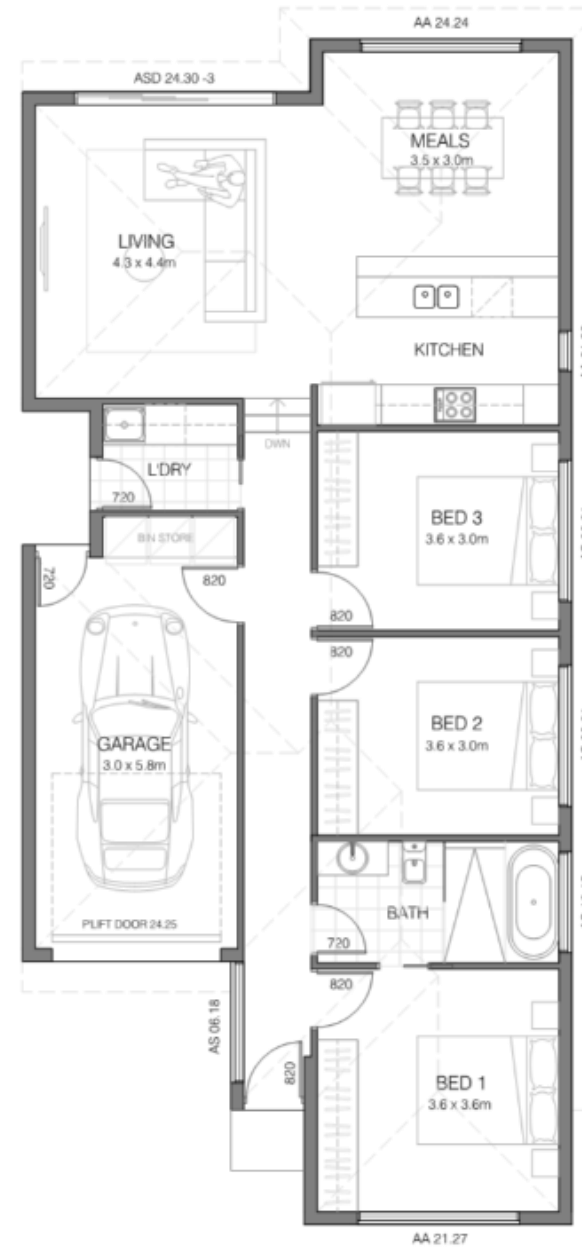
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- 40L/s IN KITCHEN & LAUNDRY

MECHANICAL EXHAUST FAN TO DISCHARGE DIRECTLY
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OVERFLOW PROVISIONS TO DOWNPIPE & GUTTER
SYSTEM IN ACCORDANCE WITH WITH CLAUSE 3.5.3.4

BOX GUTTER min. SIZE 75mm x 200mm & DRAIN VIA SUMP OR RWH



PROPOSED RESIDENCE	
LIVING:	106.34m ²
GARAGE:	20.59m ²
<hr/>	
TOTAL:	126.93m ²

FLOOR PLAN - RES 7

SCALE 1:100



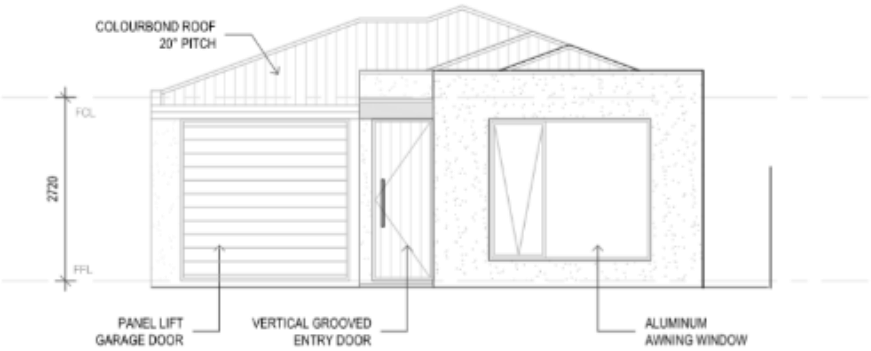
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JOB# 837

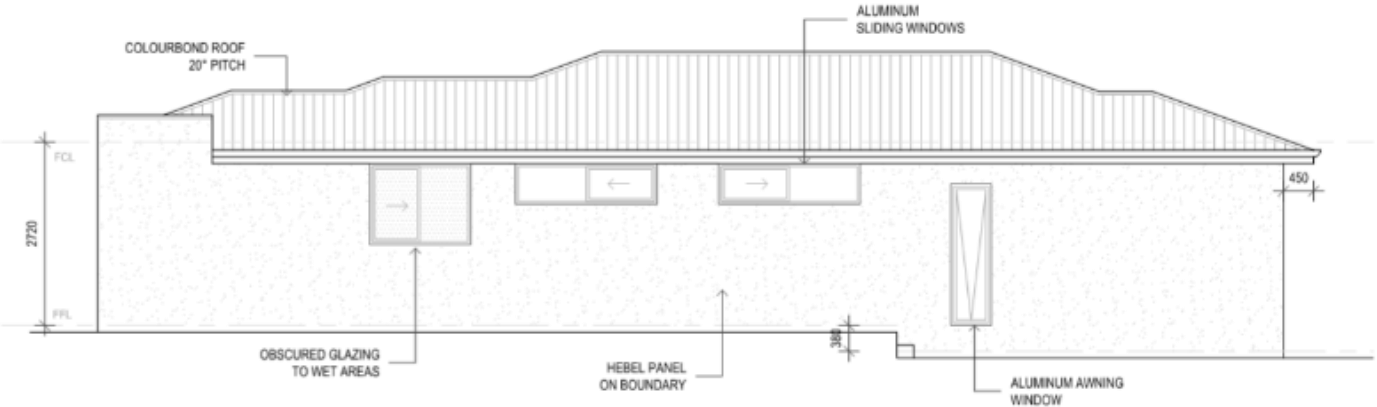
Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

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Item 8.1.1 - Attachment 1 - Proposal Plans and Supporting Documentation



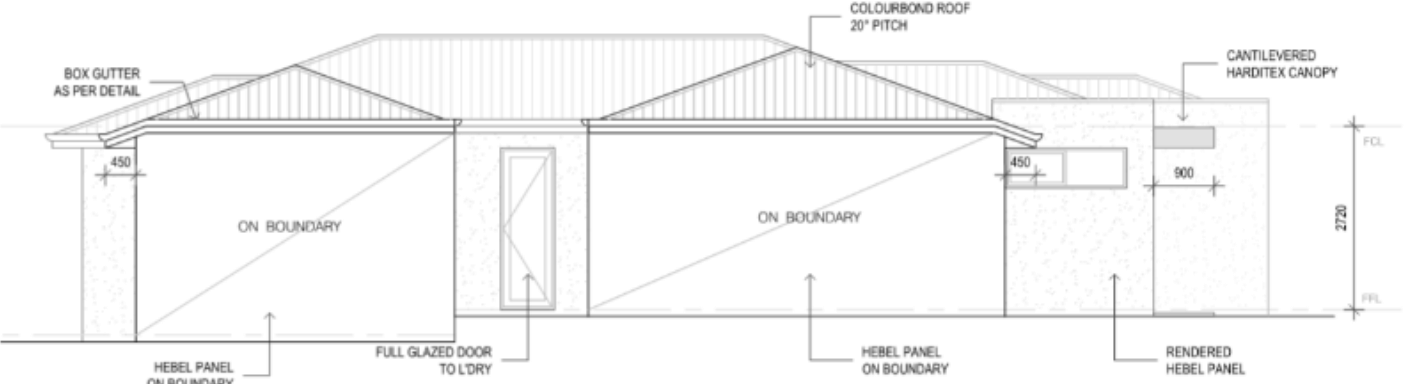
FRONT ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100

REVISION

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Design

JOB# 837

Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

08 OF 10

Scale at A3

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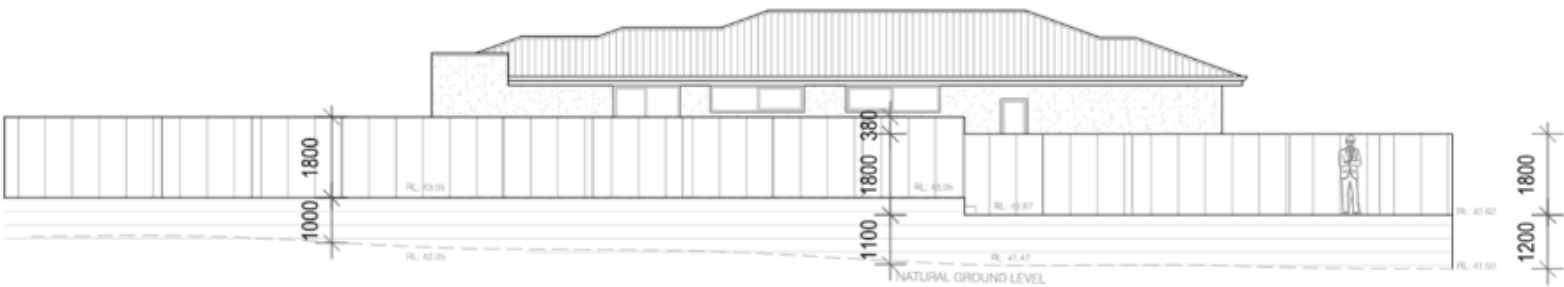


STREETSCAPE - GOODALL ROAD
SCALE 1:150



STREETSCAPE - COMMON DRIVEWAY
SCALE 1:150

COLOUR SCHEDULE	
RENDER FINISH:	SOLVER 'SUFFMIST 85.20'
SCYON AXON:	SOLVER 'MONUMENT 29.60'
ROOF:	COLOURBOND 'MONUMENT'
GUTTERS / FASCIA:	COLOURBOND 'MONUMENT'
RAINHEAD & CAPPING:	STANDARD GUTTER
WINDOWS:	STANDARD ALUMINUM 'BLACK'
ENTRY DOOR:	HUME VERTICAL GROOVED ENTRY DOOR SOLVER 'MONUMENT 29.60'
GARAGE DOOR: (60%):	GLIDEROL SECTIONAL OVERHEAD TUSCAN PROFILE - 'MONUMENT'
SIDE/ REAR FENCING:	GOOD NEIGHBOUR 1800(H) 'MONUMENT'



FENCE ELEVATION - WESTERN BOUNDARY (RES 7)
SCALE 1:150



FENCE ELEVATION - SOUTHERN BOUNDARY (RES 7-5)
SCALE 1:150

REVISION

D

JOB# 837

in property
Design

david@inpropertydesign.com.au | 0407 388 437 | www.inpropertydesign.com.au

Client: StoneMountain JC Pty. Ltd.
Address: 11-13 Goodall road Para Hills

10 OF 10

Scale at A3

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Appendix 2

Copy of Sign Displayed on the Land and Representations

PLANNING, DEVELOPMENT & INFRASTRUCTURE ACT 2016 - NOTICE UNDER SECTION 107(2)(a)(ii)

Proposed Development

11 & 13 GOODALL RD
PARA HILLS SA 5096



STREETSCAPE - GOODALL ROAD



STREETSCAPE - COMMON DRIVEWAY

APPLICANT

Zaina Stacey Development
Consultants

APPLICATION NUMBER

22031936

NATURE OF DEVELOPMENT

Construction of Four Group Dwellings and Three
Two Storey Dwellings with Associated
Landscaping, Common Driveway, Retaining Walls
and Fencing Over 2.1m

**VIEW THE PLANS AND HAVE YOUR SAY ON THE
APPLICATION**

www.plan.sa.gov.au/en/public_notices

MAKE A REPRESENTATION

Up until 11:59pm on the 06-04-2023



FOR MORE INFORMATION

CONTACT

City of Salisbury

PHONE

08 8406 8222

EMAIL

representations@salisbury.sa.gov.au

It is an offence to damage, destroy, obscure or remove this notice. Penalties apply.

Details of Representations

Application Summary

Application ID	22031936
Proposal	Construction of Four Group dwellings and Three Two storey Detached Dwellings with Associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
Location	11 GOODALL RD PARA HILLS SA 5096, 13 GOODALL RD PARA HILLS SA 5096

Representations

Representor 1 - Alison Barry

Name	Alison Barry
Address	17 Goodall Rd PARA HILLS SA, 5096 Australia
Submission Date	19/03/2023 12:05 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons The current street scape of Goodall road has only singular storey dwellings not double story and it does not fit with existing streetscape. Currently no units or town houses on street only 2 visitor parks for 7 dwellings increasing traffic flow and parking issues on a busy thoroughfare that attracts frequent buses & traffic cutting through to Nelson & McIntyre Rd. Currently during heavy rain Goodall road gutters overflow often covering entire road, increased dwellings will significantly increase this. Increased cars parked on Road will impact gutter flow and congestion during these times. Insufficient private open space for each dwelling. Unsuitable for children or pets. If they are 3 rooms it would likely attract 3 adults increasing road parking congestion & our sewage system will cope with this development application. however if this application sets a precedent with others turning singular or double blocks the system will be overloaded. Increased garbage disposal space will be required increasing 4 bins per week to 14 bins littering the council strip.	

Attached Documents

Representations**Representor 2** - Trayde Meyer

Name	Trayde Meyer
Address	52A Todd Road PARA HILLS SA, 5096 Australia
Submission Date	22/03/2023 05:40 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development
Reasons More houses, more accommodation.	

Attached Documents

Representations

Representor 3 - Ilona Reid

Name	Ilona Reid
Address	18 KIMBA ROAD PARA HILLS SA, 5096 Australia
Submission Date	23/03/2023 04:35 PM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development

Reasons

One of the first matters that will arise and affect the road users down Goodall Road is the issue of parking. Looking at the proposal it seems as though only one car park has been allocated for each dwelling. Considering most families are 2 x car families at a minimum (which statistics prove are greater than that), we would like to ask where the 'additional' vehicles will be parked, as our assumption would be for you to expect these cars be parked on the road which would cause a major headache for all being Goodall Road is a bus route. So effectively we could expect a minimum of 7 x cars being parked on the road which happens to be near a child care centre where parents are dropping their children off regularly and are needing to use street parking to do so. This means they would need to park their cars 'further up the road' rather than the convenience of close access to the safety of the childcare gate. Then there is the proximity of the Somerset Hotel, when the hotel car park is at capacity ... you guessed it ... cars park on the road causing even more congestion. Let's not even raise when the locals have visitors which also must park their vehicles on the road given most only have the one driveway. This will then also affect the rubbish/recycling trucks getting down the street on the days they are emptying our bins. With only the one car garage and no 'side access' to their own rear yards will mean for residents to put their bins out, most would need to do so via their garages, and if they are lucky enough can do so without having to reverse their cars out. The fact that the council will even allow seven properties on what currently has two properties on it, let alone letting eaves pretty much touching one another is simply appalling ... what happened to the strict council requirements where there needed to be at least a minimum metre around each dwelling allowing the homes to be accessed from both sides. Surely this would be classed as 'over development' of the site especially as there seems to be no 'room' allocated for any gardens. It would be most interesting to know whether 'approval' will be requested when removing established trees on the current properties and if allowed, what grounds they will be approved on. Let's not even raise the matter should one catch alight, how likely the others may potentially catch on fire, let alone how emergency service vehicles and the like will be able to access these homes trying to manoeuvre around all the parked cars. In addition to all this, aesthetically these developments will be 'out of place' in this neighbourhood which will mean losing the current character of our suburb. The next matter would be the 2 x storey properties being able to look straight into our yards, totally invading our privacy. We will assume the council (nor the property developer) have no intention of offering to raise our fences or pay for the yards to be enclosed, or would we simply just send them the invoices to pay direct?? We expect the likes of Michael McGee (Torrens Transit), Toby Terlet (Nawma), Tony Zappia (Member for Makin), Shiralee Reardon (Councillor, Hills Ward), Gillian Aldridge (Lord Mayor of Salisbury) and Chad Buchanan (Deputy Mayor of Salisbury Council) haven't been approached to voice their concerns so we have taken the liberty to include them so they too can address the issues that will affect them via email on your behalf. No doubt the 'due date' which for what this is was exceptionally short, will be extended allowing them adequate time to respond. Regards, Jeff and Ilona Reid

Attached Documents

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Zaina Stacey Development Consultants
Development Number:	22031936
Nature of Development:	Construction of Four Group Dwellings and Three Two Storey Dwellings with Associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
Zone:	General Neighborhood Zone
Subject Land:	11 Goodall Rd, PARA HILLS SA 5096 & 13 Goodall Rd, PARA HILLS SA 5096
Contact Officer:	Sammy Ondeyo
Phone Number:	8 406 8222
Close Date:	Thursday 6 April 2023

My name*: ILONA REID	My phone number: [REDACTED]
My postal address*: 18 KIMBA RD PARA HILLS 5096	My email*: [REDACTED]

* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input type="checkbox"/> I support the development with some concerns (detail below) <input checked="" type="checkbox"/> I oppose the development
-----------------	--

The specific reasons I believe that planning consent should be granted/refused are: As per my attached email

[attach additional pages as needed]



Government of South Australia
Attorney-General's Department

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal.

Each person making a submission should indicate whether they wish to appear personally, or be represented by another party, in support of their submission. Please note that should you nominate to be heard in support of your representation, you will be required to attend a Council Assessment Panel meeting held at the Council offices, scheduled on the fourth Tuesday of each month at 6.30pm (unless otherwise advised).

I:	<input checked="" type="checkbox"/> wish to be heard in support of my submission*
	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input checked="" type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: _____

*You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission

Signature: Deid Date: 21/3/2023

Return Address: PO Box 8, SALISBURY SA 5108 or
 Email: representations@salisbury.sa.gov.au or
 Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Zaina Stacey Development Consultants
Development Number:	22031936
Nature of Development:	Construction of Four Group Dwellings and Three Two Storey Dwellings with Associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
Zone:	General Neighborhood Zone
Subject Land:	11 Goodall Rd, PARA HILLS SA 5096 & 13 Goodall Rd, PARA HILLS SA 5096
Contact Officer:	Sammy Ondeyo
Phone Number:	8 406 8222
Close Date:	Thursday 6 April 2023

My name*: <i>ILONA HANAK.</i>	My phone number: [REDACTED]
My postal address*: <i>5096 P.O. Box 401 GREENACRES</i>	My email*: [REDACTED]

* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input type="checkbox"/> I support the development with some concerns (detail below) <input checked="" type="checkbox"/> I oppose the development
-----------------	--

The specific reasons I believe that planning consent should be granted/refused are: <i>As per the email to your office. 20/3/2023</i>
--

[attach additional pages as needed]



Government of South Australia
Attorney-General's Department

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	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: <u>ILONA REID</u>

*You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission

Signature: Ilona Reid Date: 21/3/2023

Return Address: PO Box 8, SALISBURY SA 5108 or
 Email: representations@salisbury.sa.gov.au or
 Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

Zaina Stacey Development Consultants

Application ID: 22031936

Land details:

Title

CT5211/147

CT6079/578

Plan parcel

D7587AL163

D7587AL164

For the attention of: Sammy Ondeyo

We are writing regarding our concerns with the proposed construction at 11 and 13 Goodall Road Para Hills.

We will assume no one at Zania Stacey Development consultants nor anyone from the Salisbury City Council currently reside (or plan on residing) on Goodall Road Para Hills, hence giving those of us that will be affected by this proposed construction an opportunity to raise our concerns which may not have been considered prior to this proposed development being arranged.

One of the first matters that will arise and affect the road users down Goodall Road is the issue of parking. Looking at the proposal it seems as though only one car park has been allocated for each dwelling.

Considering most families are 2 x car families at a minimum (which statistics prove are greater than that), we would like to ask where the 'additional' vehicles will be parked, as our assumption would be for you to expect these cars be parked on the road which would cause a major headache for all being Goodall Road is a bus route.

So effectively we could expect a minimum of 7 x cars being parked on the road which happens to be near a child care centre where parents are dropping their children off regularly and are needing to use street parking to do so. This means they would need to park their cars 'further up the road' rather than the convenience of close access to the safety of the childcare gate.

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This will then also affect the rubbish/recycling trucks getting down the street on the days they are emptying our bins.

With only the one car garage and no 'side access' to their own rear yards will mean for residents to put their bins out, most would need to do so via their garages, and if they are lucky enough can do so without having to reverse their cars out.

The fact that the council will even allow seven properties on what currently has two properties on it, let alone letting eaves pretty much touching one another is simply appalling ... what happened to the strict council requirements where there needed to be at least a minimum metre around each dwelling allowing the homes to be accessed from both sides. Surely this would be classed as 'over development' of the site especially as there seems to be no 'room' allocated for any gardens. It would be most interesting to know whether 'approval' will be requested when removing established trees on the current properties and if allowed, what grounds they will be approved on.

Let's not even raise the matter should one catch alight, how likely the others may potentially catch on fire, let alone how emergency service vehicles and the like will be able to access these homes trying to manoeuvre around all the parked cars.

In addition to all this, aesthetically these developments will be 'out of place' in this neighbourhood which will mean losing the current character of our suburb.

The next matter would be the 2 x storey properties being able to look straight into our yards, totally invading our privacy. We will assume the council (nor the property developer) have no intention of offering to raise our fences or pay for the yards to be enclosed, or would we simply just send them the invoices to pay direct??

We expect the likes of Michael McGee (Torrens Transit), Toby Terlet (Nawma), Tony Zappia (Member for Makin), Shiralee Reardon (Councillor, Hills Ward), Gillian Aldridge (Lord Mayor of Salisbury) and Chad Buchanan (Deputy Mayor of Salisbury Council) haven't been approached to voice their concerns so we have taken the liberty to include them so they too can address the issues that will affect them via email on your behalf. No doubt the 'due date' which for what this is was exceptionally short, will be extended allowing them adequate time to respond.

Regards,

Jeff and Ilona Reid

Representations**Representor 4** - Sam Kitoko

Name	Sam Kitoko
Address	9 GOODALL ROAD PARA HILLS SA, 5096 Australia
Submission Date	24/03/2023 10:56 AM
Submission Source	Post
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons I oppose the development due to the traffic congestion the new residents will create on Goodall Road as they will park their cars on the nature strip because of the parking restrictions of Goodall Road. Hence this will hinder the local commuter bus manoeuvre easily. Also the 2 storey buildings will impact on our privacy as they will be able to see us whilst we are in our backyard.	

Attached Documents

22031936RepresentationSamKitoko24March2023-5166359.pdf
--

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

RECEIVED

24 MAR 2023

Applicant:	Zaina Stacey Development Consultants
Development Number:	22031936
Nature of Development:	Construction of Four Group Dwellings and Three Two Storey Dwellings with Associated Landscaping, Common Driveway, Retaining Walls and Fencing Over 2.1m
Zone:	General Neighborhood Zone
Subject Land:	11 Goodall Rd, PARA HILLS SA 5096 & 13 Goodall Rd, PARA HILLS SA 5096
Contact Officer:	Sammy Ondeyo
Phone Number:	8 406 8222
Close Date:	Thursday 6 April 2023

My name*: SAM Kitoko	My phone number: [REDACTED]
My postal address*: 9 Goodall Rd Para Hills, SA 5096	My email*: [REDACTED]

* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input type="checkbox"/> I support the development with some concerns (detail below) <input checked="" type="checkbox"/> I oppose the development
-----------------	--

<p>The specific reasons I believe that planning consent should be granted/refused are:</p> <p>I oppose the development due to the traffic congestion the new residents will create on Goodall Road as they will park their cars on the nature strip because of the parking restrictions of Goodall Road. Hence this will hinder the local commuter bus manoeuvre easily.</p> <p>Also the 2 storey buildings will impact on our privacy as they will be able to see us whilst we are in our backyard.</p>
--

[attach additional pages as needed]



Government of South Australia
Attorney-General's Department

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal.

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I:	<input checked="checked" type="checkbox"/> wish to be heard in support of my submission*
	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: _____

**You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Signature: 

Date: 23/03/2023

Return Address: PO Box 8, SALISBURY SA 5108 or

Email: representations@salisbury.sa.gov.au or

Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

Representations**Representor 5** - Subra Kuppa

Name	Subra Kuppa
Address	15 Goodall Road PARA HILLS SA, 5096 Australia
Submission Date	29/03/2023 03:06 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I support the development with some concerns
Reasons There should not be any windows overseeing my property.	

Attached Documents

Representations**Representor 6** - Subra Kuppa

Name	Subra Kuppa
Address	15a Goodall Road PARA HILLS SA, 5096 Australia
Submission Date	29/03/2023 03:10 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I support the development with some concerns
Reasons There should not be any windows overseeing my property at 15 and 15a, Goodall Road, Para Hills.	

Attached Documents

Representations**Representor 7** - Nastasja Agerman

Name	Nastasja Agerman
Address	29 Swallowtail St MOUNT BARKER SA, 5251 Australia
Submission Date	30/03/2023 10:10 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development
Reasons Too many houses, very cramped, doesn't allow for extra carparking.	

Attached Documents

Appendix 3

Applicant's Response to Representations



P 08 8379 7979
E planning@zainastacey.com
A 1 George Street, Parkside SA 5063
zainastacey.com

11 April 2023

Attn: Assessment Manager/Panel
 City of Salisbury
 PO Box 8
 SALISBURY SA 5108

Subject: Public Notification - Response to Representations (22031936)

Dear Sir/Madam,

I am responding to the representations received during the public notification of DA 22031936 for the 'construction of four group dwellings and three two-storey detached dwellings with associated landscaping, common driveway, retaining walls and fencing over 2.1m' at 11 & 13 Goodall Road Para Hills.

Public notification was required for the proposed development due to sections of the proposed boundary walls/fencing being over 11.5m in length. All other aspects of the development were within the exemption criteria listed within Table 5 of the General Neighbourhood Zone.

In total six (6) representations were received by the Relevant Authority, with four (4) in opposition, and two (2) in support. Both representations in opposition wish to be heard at the forthcoming Council Assessment Panel meeting to determine whether to approve or refuse the subject development. Below is a summary of the three responses:

Representor 1 (Alison Barry - Opposing) - To be heard

- Proposed two-storey design does not fit within the streetscape.
- Insufficient number of car-parking spaces.
- Existing stormwater issues within the street will be exacerbated by proposed development.
- Insufficient private open space.
- Insufficient sewerage infrastructure.
- Waste Management of household refuse is insufficient.

Representor 2 (Trayde Meyer - Supporting) - Not to be heard

- Increased availability of housing.

Representor 3 (Ilona Reid - Opposing) - To be heard

- Insufficient number of car-parking spaces.
- Traffic issues caused by increased street parking.
- Side setbacks being less than 1 metre.
- Potential to remove existing trees on the allotment to make way for proposed development.
- Fire and emergency concerns - spread of fire and access to dwellings in an emergency.
- Proposed two-storey design will result in overlooking.
- Design is inconsistent with the existing streetscape.

Representor 4 (Sam Kitoko - Opposing) - To be heard

- Traffic congestion due to additional street parking.
- Two storey dwellings will impact on privacy of nearby residents.

Representor 5 & 6 (Subra Kuppa - Supporting with concerns) - To be heard

- Does not want any overlooking from proposed dwellings into 15 & 15A Goodall Road.

Representor 7 (Nastasja Agerman - Opposing) - Not to be heard

- Too many dwellings proposed (high density).
- Car parking concerns.

In response to the above points, I can offer the following response which shows that the current proposal sufficiently meets the Planning and Design Code and therefore should be issued Planning Consent from the Council Assessment Panel:

- The proposed two-storey dwellings meet DPF 4.1 in regard to maximum height being 9 metres and two storeys. The emerging pattern of development will trend toward two storey dwellings in order to achieve a range of housing as desired by the zone.
- All seven dwellings have two off-street parking spaces meeting the requirements of 'Table 1 - General Off-Street Car Parking Requirements'. The proposal also consists of two on-site visitor parks to service the group dwellings at the rear, with a total of three on street parking spaces retained for use of the site as a whole. This goes over and above the minimum parking requirements of the Code.
- As part of the proposal, we have submitted a stormwater design to be critiqued by Council's engineering staff. We understand that this review has been undertaken, and that there are no currently identified issues with these designs.
- Private open space requirements of 'Table 1 - Private Open Space' are met by all dwellings. Dwellings on lots under 300 square metres are required to have a minimum of 24 square metres of open space. Each dwelling proposed has a minimum of 40 square metres, providing well over the minimum amount of private open space required.
- Each dwelling will be connected to the SA Water sewer main as required by the code.
- Each group dwelling has sufficient bin storage within the garage. The three detached dwellings will have bin storage in the rear yard with access to the street through the garage. On street pick up for all bins is proposed and is sufficient for the number of dwellings, with large street frontage.
- Traffic issues caused by street parking can be reviewed by Council's engineering staff. We are confident that this design achieves sufficient manoeuvring both on street and within the common driveway.
- The detached dwellings are proposed in 'terrace' format which eliminates the need for side setbacks on all sides. There is also no requirement for the group dwellings to have 900mm setbacks around all side walls. Each dwelling will meet the building code as required during the next stage of development application assessment.
- There are no regulated or significant trees proposed to be removed as a part of this proposal.
- Access is suitable for all vehicles to enter and exit in a forwards direction as per the requirements of the Planning and Design Code.
- The proposed design has been amended a number of times to ensure that privacy is maintained for all neighbouring properties. High fencing is proposed in some areas to ensure that privacy is maintained where sloping land would otherwise create a visual corridor. Two-storey designs have only been proposed at the front to ensure overlooking is further minimised. All upper level windows with potential for overlooking will have sill heights or obscure glazing to a height of 1.5m above the upper finished floor level.

As detailed above, it is clear that the proposal is sufficient in meeting the code in relation to all of the points raised by representations. The proposed development has been amended a number of times, taking into account Council's comments to ensure that privacy is maintained and the proposal sufficiently meets the Planning and Design Code requirements.

This information should allow you to make a positive determination for the application at the next available Council Assessment Panel meeting. If you have any major concerns in supporting the proposal, please indicate these immediately so that we may review. Please don't hesitate to get in touch with us via phone on 08 8379 7979 or via email to planning@zainastacey.com if you require anything further.

Kind Regards,



Dylan Furnell
Planner
Zaina Stacey Development Consultants

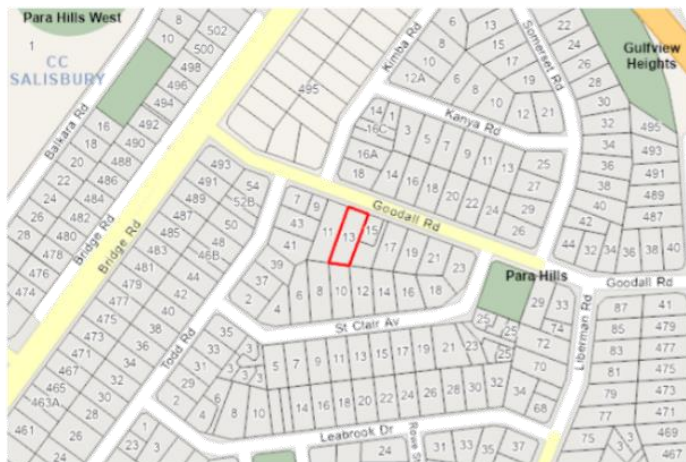
Appendix 4

Extract of Planning and Design Code

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13 GOODALL RD PARA HILLS SA 5096**Address:**Click to view a detailed interactive [SALIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Overlay**

Airport Building Heights (Regulated) (All structures over 15 metres)

Affordable Housing

Building Near Airfields

Defence Aviation Area (All structures over 90 metres)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Traffic Generating Development

Urban Tree Canopy

Zone

General Neighbourhood

Selected Development(s)

Group dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Group dwelling - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones**General Neighbourhood Zone**

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Assessment Provisions (AP)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature		
Land Use and Intensity				
PO 1.1		DTS/DPF 1.1		
Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.		Development comprises one or more of the following: (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Educational establishment (f) Office (g) Place of Worship (h) Pre-school (i) Recreation area (j) Residential flat building (k) Retirement facility (l) Shop (m) Student accommodation (n) Supported accommodation		
Site Dimensions and Land Division				
PO 2.1		DTS/DPF 2.1		
Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.		Development will not result in more than 1 dwelling on an existing allotment or Allotments/sites for residential purposes accord with the following:		
		Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
		Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
		Semi-detached dwelling	300m ²	9m
		Row dwelling (or detached dwelling in a	250m ²	7m (averaged)

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	terrace arrangement)		
	Group dwelling	300m ² (average, including common areas)	15m (total)
	Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
PO 2.2 Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	DTS/DPF 2.2 Where the site of a dwelling does not comprise an entire allotment: (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1 (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene: (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.		
Site Coverage			
PO 3.1 Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.	DTS/DPF 3.1 The development does not result in site coverage exceeding 60%.		
Building Height			
PO 4.1 Buildings contribute to a low-rise suburban character.	DTS/DPF 4.1 Building height (excluding garages, carports and outbuildings) no greater than: (a) 2 building levels and 9m and (b) wall height that is no greater than 7m except in the case of a gable end.		
Primary Street Setback			
PO 5.1 Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.	DTS/DPF 5.1 The building line of a building set back from the primary street boundary: (a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment) (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road		

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	<p>or a vacant allotment), no more than 1m in front of the setback to the building line of that building</p> <p>or</p> <p>(c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.</p>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the boundary of the allotment with a secondary street frontage:</p> <p>(a) at least 900mm</p> <p>or</p> <p>(b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(b) side boundary walls do not:</p> <p>(i) exceed 3m in height from the top of footings</p> <p>(ii) exceed 11.5m in length</p> <p>(iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>(iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
Side boundary setback	
<p>PO 8.1</p> <p>Building walls are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>and</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary, building walls are set back from side boundaries:</p> <p>(a) at least 900mm where the wall height is up to 3m</p> <p>(b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m</p> <p>and</p> <p>(c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.</p>
Rear boundary setback	
<p>PO 9.1</p> <p>Dwelling walls are set back from rear boundaries to provide:</p>	<p>DTS/DPF 9.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p> <p>(a) if the size of the site is less than 301m²—</p>

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(a) separation between dwellings in a way that contributes to a suburban character	(i) 3m in relation to the ground floor of the dwelling
(b) access to natural light and ventilation for neighbours	(ii) 5m in relation to any other building level of the dwelling
(c) private open space	
(d) space for landscaping and vegetation.	(b) if the size of the site is 301m ² or more—
	(i) 4m in relation to the ground floor of the dwelling
	(ii) 6m in relation to any other building level of the dwelling.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or

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<ul style="list-style-type: none"> (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<p>an excluded boundary) and:</p> <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>
<p>6. Alteration of or addition to any development involving the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) community facility (b) educational establishment 	<p>Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.</p>

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(c) pre-school.	
7. Demolition.	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: <ol style="list-style-type: none"> (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable

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	housing will be accommodated in a subsequent stage or stages of development.
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.	DTS/DPF 2.1 None are applicable.
Affordable Housing Incentives	
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.	DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.
PO 3.2 To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.	DTS/DPF 3.2 Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the: <ul style="list-style-type: none"> (a) Business Neighbourhood Zone (b) City Living Zone (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone (p) Urban Renewal Neighbourhood Zone (q) Waterfront Neighbourhood Zone and up to 30% in any other zone, except where: <ul style="list-style-type: none"> (a) the development is located within the Character Area Overlay or Historic Area Overlay or (b) other height incentives already apply to the development.
Movement and Car Parking	
PO 4.1	DTS/DPF 4.1

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Sufficient car parking is provided to meet the needs of occupants of affordable housing.	<p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <p>(a) 0.3 carpark per dwelling within a building which incorporates dwellings located above ground level within either:</p> <ul style="list-style-type: none"> (i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (ii) is within 400 metres of a bus interchange⁽¹⁾ (iii) is within 400 metres of an O-Bahn interchange⁽¹⁾ (iv) is within 400 metres of a passenger rail station⁽¹⁾ (v) is within 400 metres of a passenger tram station⁽¹⁾ (vi) is within 400 metres of the Adelaide Parklands. <p>or</p> <p>(b) 1 carpark per dwelling for any other dwelling.</p> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

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Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

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Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated turbulence and windshear that may pose a safety hazard to aircraft flight movement.	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Defence Aviation Area Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of Defence Aviation Areas.	DTS/DPF 1.1 Building height does not exceed the relevant height specified by the <i>Defence Aviation Area Overlay</i> .

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

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Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature									
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none">(a) maximise conservation of water resources(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded(c) manage stormwater runoff quality.	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none">(a) includes rainwater tank storage:<ul style="list-style-type: none">(i) connected to at least:<ul style="list-style-type: none">A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof areaB. in all other cases, 80% of the roof area(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m²(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater(iv) with a minimum total capacity in accordance with Table 1(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area <p>Table 1: Rainwater Tank</p> <table><tr><th>Site size (m²)</th><th>Minimum retention volume (Litres)</th><th>Minimum detention volume (Litres)</th></tr><tr><td><200</td><td>1000</td><td>1000</td></tr><tr><td>200-400</td><td>2000</td><td>Site perviousness <30%: 1000 Site perviousness ≥30%: N/A</td></tr></table>	Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)								
<200	1000	1000								
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A								

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		>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Traffic Generating Development Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
PO 1.1 Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.	DTS/DPF 1.1 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.
PO 1.2	DTS/DPF 1.2

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Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.	Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.
PO 1.3 Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.	DTS/DPF 1.3 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. 	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

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Urban Tree Canopy Overlay**Assessment Provisions (AP)****Desired Outcome**

DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.
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Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																												
PO 1.1 Trees are planted or retained to contribute to an urban tree canopy.	<div>DTS/DPF 1.1</div> <div>Tree planting is provided in accordance with the following:</div> <table><tr><th>Site size per dwelling (m²)</th><th>Tree size* and number required per dwelling</th></tr><tr><td><450</td><td>1 small tree</td></tr><tr><td>450-800</td><td>1 medium tree or 2 small trees</td></tr><tr><td>>800</td><td>1 large tree or 2 medium trees or 4 small trees</td></tr></table> <div>*refer Table 1 Tree Size</div> <table><tr><th colspan="4">Table 1 Tree Size</th></tr><tr><th>Tree size</th><th>Mature height (minimum)</th><th>Mature spread (minimum)</th><th>Soil area around tree within development site (minimum)</th></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m² and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m² and min. dimension of 2m</td></tr><tr><td>Large</td><td>12 m</td><td>8m</td><td>60m² and min. dimension of 4m</td></tr></table> <div>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and</div>	Site size per dwelling (m ²)	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m ² and min. dimension of 1.5m	Medium	6 m	4 m	30m ² and min. dimension of 2m	Large	12 m	8m	60m ² and min. dimension of 4m
Site size per dwelling (m ²)	Tree size* and number required per dwelling																												
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Table 1 Tree Size																													
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																										
Small	4 m	2m	10m ² and min. dimension of 1.5m																										
Medium	6 m	4 m	30m ² and min. dimension of 2m																										
Large	12 m	8m	60m ² and min. dimension of 4m																										

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Infrastructure (General) Regulations 2017.			
Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.			

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies**Clearance from Overhead Powerlines****Assessment Provisions (AP)**

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Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Development is: (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not: (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway

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	(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
Overlooking / Visual Privacy (low rise buildings)	

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PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	DTS/DPF 11.1 None are applicable.
PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.
All Development - Medium and High Rise	
External Appearance	

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PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.
PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes: (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate: (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
PO 12.7 Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	DTS/DPF 12.7 Entrances to multi-storey buildings are: (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment.
PO 12.8 Building services, plant and mechanical equipment are screened	DTS/DPF 12.8 None are applicable.

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from the public realm.																	
Landscaping																	
PO 13.1	DTS/DPF 13.1																
Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.																
PO 13.2	DTS/DPF 13.2																
Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.																
	<table><tr><th>Site area</th><th>Minimum deep soil area</th><th>Minimum dimension</th><th>Tree / deep soil zones</th></tr><tr><td><300 m²</td><td>10 m²</td><td>1.5m</td><td>1 small tree / 10 m²</td></tr><tr><td>300-1500 m²</td><td>7% site area</td><td>3m</td><td>1 medium tree / 30 m²</td></tr><tr><td>>1500 m²</td><td>7% site area</td><td>6m</td><td>1 large or medium tree / 60 m²</td></tr></table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²	300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²	>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²
Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones														
<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²														
300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²														
>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²														
	Tree size and site area definitions																
	<table><tr><td>Small tree</td><td>4-6m mature height and 2-4m canopy spread</td></tr><tr><td>Medium tree</td><td>6-12m mature height and 4-8m canopy spread</td></tr><tr><td>Large tree</td><td>12m mature height and >8m canopy spread</td></tr><tr><td>Site area</td><td>The total area for development site, not average area per dwelling</td></tr></table>	Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread	Large tree	12m mature height and >8m canopy spread	Site area	The total area for development site, not average area per dwelling								
Small tree	4-6m mature height and 2-4m canopy spread																
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Large tree	12m mature height and >8m canopy spread																
Site area	The total area for development site, not average area per dwelling																
PO 13.3	DTS/DPF 13.3																
Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	None are applicable.																
PO 13.4	DTS/DPF 13.4																
Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.																
Environmental																	

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PO 14.1 Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	DTS/DPF 14.1 None are applicable.
PO 14.2 Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	DTS/DPF 14.2 None are applicable.
PO 14.3 Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as: (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level.	DTS/DPF 14.3 None are applicable.
Overlooking/Visual Privacy	
PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as: (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.	DTS/DPF 16.1 None are applicable.
All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the

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	primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2 None are applicable.
Residential Development - Low Rise	
External appearance	
PO 20.1 Garaging is designed to not detract from the streetscape or appearance of a dwelling.	DTS/DPF 20.1 Garages and carports facing a street: <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
PO 20.2 Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	DTS/DPF 20.2 Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway: <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.

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PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable										
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to: (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): (a) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): (a) single width car parking spaces: (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m										

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	<ul style="list-style-type: none"> (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of

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	<p>the garage or carport is not steeper than 1-in-4 on average</p> <p>(b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.</p> <p>(c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site</p>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <p>(a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</p> <p>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</p>
Design of Transportable Buildings	
<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <p>(a) are not transportable</p> <p>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</p>
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
<p>PO 26.1</p> <p>Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.</p>	<p>DTS/DPF 26.1</p> <p>Buildings:</p> <p>(a) provide a habitable room at ground or first level with a window facing toward the street</p> <p>(b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.</p>

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PO 26.2	DTS/DPF 26.2
The visual privacy of ground level dwellings within multi-level buildings is protected.	The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1	DTS/DPF 27.1
Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1	DTS/DPF 28.1
Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2	DTS/DPF 28.2
Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to: <ul style="list-style-type: none"> (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas. 	Balconies utilise one or a combination of the following design elements: <ul style="list-style-type: none"> (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
PO 28.3	DTS/DPF 28.3
Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
PO 28.4	DTS/DPF 28.4
Dwellings are provided with sufficient space for storage to meet likely occupant needs.	Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling: <ul style="list-style-type: none"> (a) studio: not less than 6m³ (b) 1 bedroom dwelling / apartment: not less than 8m³ (c) 2 bedroom dwelling / apartment: not less than 10m³ (d) 3+ bedroom dwelling / apartment: not less than 12m³.
PO 28.5	DTS/DPF 28.5
Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.	Light wells: <ul style="list-style-type: none"> (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.

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PO 28.6 Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.	DTS/DPF 28.6 None are applicable.								
PO 28.7 Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.	DTS/DPF 28.7 None are applicable.								
Dwelling Configuration									
PO 29.1 Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.	DTS/DPF 29.1 Buildings containing in excess of 10 dwellings provide at least one of each of the following: <ul style="list-style-type: none"> (a) studio (where there is no separate bedroom) (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom. 								
PO 29.2 Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.	DTS/DPF 29.2 None are applicable.								
Common Areas									
PO 30.1 The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.	DTS/DPF 30.1 Common corridor or circulation areas: <ul style="list-style-type: none"> (a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core. 								
Group Dwellings, Residential Flat Buildings and Battle axe Development									
Amenity									
PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.	DTS/DPF 31.1 Dwellings have a minimum internal floor area in accordance with the following table: <table border="1"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m²</td></tr> <tr> <td>1 bedroom</td><td>50m²</td></tr> <tr> <td>2 bedroom</td><td>65m²</td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²
Number of bedrooms	Minimum internal floor area								
Studio	35m ²								
1 bedroom	50m ²								
2 bedroom	65m ²								

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	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.	
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.	
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.	
Communal Open Space		
PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 32.1 None are applicable.	
PO 32.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.	
PO 32.3 Communal open space is designed and sited to: (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 32.3 None are applicable.	
PO 32.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 32.4 None are applicable.	
PO 32.5 Communal open space is designed and sited to: (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 32.5 None are applicable.	
Car parking, access and manoeuvrability		
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:	

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	<ul style="list-style-type: none"> (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.2 The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	DTS/DPF 33.2 Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
PO 33.3 Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	DTS/DPF 33.3 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: <ul style="list-style-type: none"> (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1 Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): <ul style="list-style-type: none"> (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	

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PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 35.1 None are applicable.
PO 35.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 35.2 None are applicable.
PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 35.3 None are applicable.
PO 35.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 35.5 None are applicable.
PO 35.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 35.6 None are applicable.
Water sensitive urban design	
PO 36.1 Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 36.1 None are applicable.
PO 36.2 Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 36.2 None are applicable.
Laneway Development	
Infrastructure and Access	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

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where:	
(a) existing utility infrastructure and services are capable of accommodating the development	
(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)	
(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)	
(d) safety of pedestrians or vehicle movement is maintained	
(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.	

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome

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DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
PO 11.2 Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
PO 12.1 Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following: (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.	DTS/DPF 12.1 Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following: (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Site Contamination

Assessment Provisions (AP)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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	Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) and (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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Feature	
Vehicle Access	
<p>PO 3.1</p> <p>Safe and convenient access minimises impact or interruption on the operation of public roads.</p>	<p>DTS/DPF 3.1</p> <p>The access is:</p> <ul style="list-style-type: none"> (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
<p>PO 3.5</p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p>DTS/DPF 3.5</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <ul style="list-style-type: none"> (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided (b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> (i) a single access point no greater than 6m in width is provided or (ii) not more than two access points with a width of 3.5m each are provided.
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas 	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street

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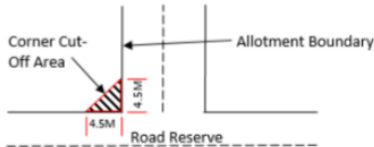
<p>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</p> <p>(d) the adaptive reuse of a State or Local Heritage Place.</p>	<p>(c) Vehicle Parking Requirements in Designated Areas if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</p>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom)

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Row Dwelling where vehicle access is from the primary street	- 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Semi-Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation	
Retirement village	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking.
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking.
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan park / tourist park	Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation. Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation. A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.
Tourist accommodation	1 car parking space per accommodation unit / guest room.
Commercial Uses	

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Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Call centre	8 spaces per 100m ² of gross leasable floor area.
Motor repair station	3 spaces per service bay.
Office	4 spaces per 100m ² of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	2.5 spaces per 100m ² of gross leasable floor area 1 space per 100m ² of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m ² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. 5 spaces per 100m ² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat. Premises with take-away service but with no seats - 12 spaces per 100m ² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point. Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses	
Childcare centre	0.25 spaces per child
Library	4 spaces per 100m ² of total floor area.
Community facility	10 spaces per 100m ² of total floor area.
Hall / meeting hall	0.2 spaces per seat.

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Place of worship	1 space for every 3 visitor seats.
Pre-school	1 per employee plus 0.25 per child (drop off/pick up bays)
Educational establishment	<p>For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.</p>
Health Related Uses	
Hospital	<p>4.5 spaces per bed for a public hospital.</p> <p>1.5 spaces per bed for a private hospital.</p>
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	<p>6.5 spaces per 100m² of total floor area for a Fitness Centre</p> <p>4.5 spaces per 100m² of total floor area for all other Indoor recreation facilities.</p>
Industry/Employment Uses	
Fuel depot	<p>1.5 spaces per 100m² total floor area</p> <p>1 spaces per 100m² of outdoor area used for fuel depot activity purposes.</p>
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	1.5 spaces per 100m ² of total floor area

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	1 space per 100m ² of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone
			City Main Street Zone
			City Riverbank Zone
			Adelaide Park Lands Zone
			Business Neighbourhood Zone (within the City of Adelaide)
		1 space for each dwelling with a total floor area less than 75 square metres	
		2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres	The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
		3 spaces for each dwelling with a total floor area greater than 150 square metres.	
		Residential flat building or Residential component of a	

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		multi-storey building: 1 visitor space for each 6 dwellings.	
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	5 spaces per 100m ² of gross leasable floor area.	City Living Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	6 spaces per 100m ² of gross leasable floor area.	Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Business Neighbourhood Zone Suburban Main Street Zone Urban Activity Centre Zone
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone
Residential development			
Residential component of a multi-storey building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Strategic Innovation Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone

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Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling	None specified.	City Living Zone
	1 bedroom dwelling - 0.75 spaces per dwelling		Urban Activity Centre Zone
	2 bedroom dwelling - 1 space per dwelling		Urban Corridor (Boulevard) Zone
	3 or more bedroom dwelling - 1.25 spaces per dwelling		Urban Corridor (Business) Zone
	0.25 spaces per dwelling for visitor parking.		Urban Corridor (Living) Zone
			Urban Corridor (Main Street) Zone
			Urban Neighbourhood Zone

Table 2 - Criteria:

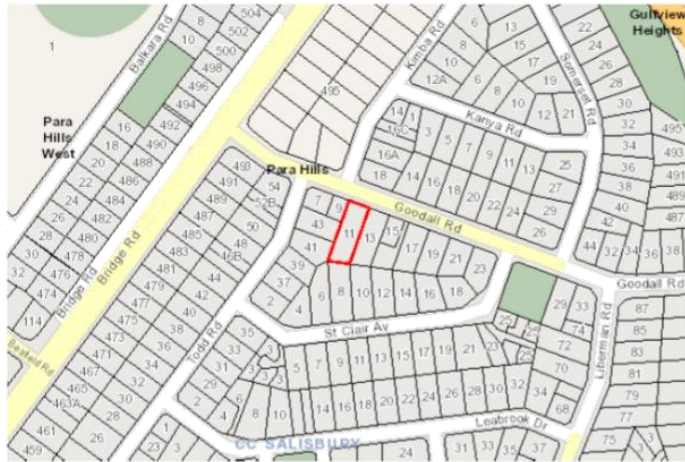
The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p> <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p>

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

11 GOODALL RD PARA HILLS SA 5096**Address:**Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Zone**

General Neighbourhood

Overlay

Airport Building Heights (Regulated) (All structures over 15 metres)
 Affordable Housing
 Building Near Airfields
 Defence Aviation Area (All structures over 90 metres)
 Prescribed Wells Area
 Regulated and Significant Tree
 Stormwater Management
 Traffic Generating Development
 Urban Tree Canopy

Selected Development(s)

Detached dwelling

Fence

Retaining wall

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Detached dwelling - Code Assessed - Deemed to Satisfy

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Deemed to Satisfy		
Site Dimensions and Land Division		
DTS/DPF 2.1		
Development will not result in more than 1 dwelling on an existing allotment		
or		
Allotments/sites for residential purposes accord with the following:		
Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Semi-detached dwelling	300m ²	9m
Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
Group dwelling	300m ² (average, including common areas)	15m (total)
Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
DTS/DPF 2.2		
Where the site of a dwelling does not comprise an entire allotment:		
(a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1		
(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:		
(i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space		
(ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.		
Site Coverage		
DTS/DPF 3.1		
The development does not result in site coverage exceeding 60%.		
Building Height		
DTS/DPF 4.1		

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Building height (excluding garages, carports and outbuildings) no greater than:	
(a) 2 building levels and 9m and (b) wall height that is no greater than 7m except in the case of a gable end.	
Primary Street Setback	
DTS/DPF 5.1	
The building line of a building set back from the primary street boundary:	
(a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment) (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building or (c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.	
Secondary Street Setback	
DTS/DPF 6.1	
Building walls are set back from the boundary of the allotment with a secondary street frontage:	
(a) at least 900mm or (b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.	
Boundary Walls	
DTS/DPF 7.1	
Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:	
(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height (b) side boundary walls do not: <ul style="list-style-type: none"> (i) exceed 3m in height from the top of footings (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land. 	
DTS/DPF 7.2	
Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.	
Side boundary setback	
DTS/DPF 8.1	
Other than walls located on a side boundary, building walls are set back from side boundaries:	
(a) at least 900mm where the wall height is up to 3m (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and	
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(c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.	
Rear boundary setback	
<p>DTS/DPF 9.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p> <p>(a) if the size of the site is less than 301m²—</p> <p>(i) 3m in relation to the ground floor of the dwelling</p> <p>(ii) 5m in relation to any other building level of the dwelling</p> <p>(b) if the size of the site is 301m² or more—</p> <p>(i) 4m in relation to the ground floor of the dwelling</p> <p>(ii) 6m in relation to any other building level of the dwelling.</p>	

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Land Division
<p>DTS/DPF 1.1</p> <p>Development results in 0-19 additional allotments / dwellings.</p>

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Built Form
<p>DTS/DPF 1.1</p> <p>Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.</p> <p>In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.</p>

Building Near Airfields Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
<p>DTS/DPF 1.3</p> <p>The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.</p>

Defence Aviation Area Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Built Form
<p>DTS/DPF 1.1</p> <p>Building height does not exceed the relevant height specified by the <i>Defence Aviation Area Overlay</i>.</p>

Stormwater Management Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> (a) includes rainwater tank storage: <ul style="list-style-type: none"> (i) connected to at least: <ul style="list-style-type: none"> A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area B. in all other cases, 80% of the roof area (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m² (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater (iv) with a minimum total capacity in accordance with Table 1 (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank

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(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area

Table 1: Rainwater Tank

Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)
<200	1000	1000
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

Urban Tree Canopy Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

Tree planting is provided in accordance with the following:

Site size per dwelling (m ²)	Tree size* and number required per dwelling
<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

*refer Table 1 Tree Size

Table 1 Tree Size			
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)

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Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
DTS/DPF 1.1
One of the following is satisfied:

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(a)	a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>
(b)	there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
All Development	
On-site Waste Treatment Systems	
DTS/DPF 6.1	Effluent disposal drainage areas do not:
(a)	encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space
(b)	use an area also used as a driveway
(c)	encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Earthworks and sloping land	
DTS/DPF 8.1	Development does not involve any of the following:
(a)	excavation exceeding a vertical height of 1m
(b)	filling exceeding a vertical height of 1m
(c)	a total combined excavation and filling vertical height of 2m or more.
DTS/DPF 8.2	Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):
(a)	do not have a gradient exceeding 25% (1-in-4) at any point along the driveway
(b)	are constructed with an all-weather trafficable surface.
Overlooking / Visual Privacy (low rise buildings)	
DTS/DPF 10.1	Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:
(a)	are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm
(b)	have sill heights greater than or equal to 1.5m above finished floor level
(c)	incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
DTS/DPF 10.2	One of the following is satisfied:

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<p>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</p> <p>or</p> <p>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</p> <p>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</p> <p>or</p> <p>(ii) 1.7m above finished floor level in all other cases</p>	
All residential development	
Front elevations and passive surveillance	
DTS/DPF 17.1	
Each dwelling with a frontage to a public street:	
<p>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</p> <p>(b) has an aggregate window area of at least 2m² facing the primary street.</p>	
DTS/DPF 17.2	
Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.	
Outlook and Amenity	
DTS/DPF 18.1	
A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.	
Residential Development - Low Rise	
External appearance	
DTS/DPF 20.1	
Garages and carports facing a street:	
<p>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</p> <p>(b) are set back at least 5.5m from the boundary of the primary street</p> <p>(c) have a garage door / opening width not exceeding 7m</p> <p>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</p>	
DTS/DPF 20.2	
Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:	
<p>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</p> <p>(b) a porch or portico projects at least 1m from the building wall</p> <p>(c) a balcony projects from the building wall</p> <p>(d) a verandah projects at least 1m from the building wall</p> <p>(e) eaves of a minimum 400mm width extend along the width of the front elevation</p> <p>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</p> <p>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</p>	

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Policy24	P&D Code (in effect) Version 2023.5 30/03/2023										
Private Open Space											
DTS/DPF 21.1	Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
DTS/DPF 21.2	Private open space is directly accessible from a habitable room.										
Landscaping											
DTS/DPF 22.1	Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): <p>(a) a total area as determined by the following table:</p> <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
DTS/DPF 23.1	Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. 										
DTS/DPF 23.2	Uncovered car parking spaces have:										

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<ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m. 	
<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m. 	
<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing. 	
<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site 	
<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented. 	
Waste storage	
<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and 	

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(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.	
Design of Transportable Buildings	
DTS/DPF 25.1	
Buildings satisfy (a) or (b):	
(a) are not transportable	
(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.	
Group Dwellings, Residential Flat Buildings and Battle axe Development	
Amenity	
DTS/DPF 31.4	
Dwelling sites/allotments are not in the form of a battle-axe arrangement.	
Laneway Development	
Infrastructure and Access	
DTS/DPF 44.1	
Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.	

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11 m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
Water Supply	
DTS/DPF 11.2	<p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
DTS/DPF 12.1	<p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
DTS/DPF 12.2	<p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

Site Contamination

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
DTS/DPF 1.1	<p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:

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<p>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-</p> <p>A. site contamination does not exist (or no longer exists) at the land</p> <p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</p> <p>or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>	

Transport, Access and Parking

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)


Deemed to Satisfy	
Vehicle Parking Rates	
DTS/DPF 5.1	<p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements</p> <p>(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas</p> <p>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</p>
Corner Cut-Offs	
DTS/DPF 10.1	<p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.			
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone City Main Street Zone City Riverbank Zone

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		1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Adelaide Park Lands Zone Business Neighbourhood Zone (within the City of Adelaide) The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following: (a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service ⁽²⁾ (b) is within 400 metres of a bus interchange ⁽¹⁾ (c) is within 400 metres of an O-Bahn interchange ⁽¹⁾ (d) is within 400 metres of a passenger rail station ⁽¹⁾ (e) is within 400 metres of a passenger tram station ⁽¹⁾ (f) is within 400 metres of the Adelaide Parklands.	(a) All zones in the City of Adelaide (b) Strategic Innovation Zone in the following locations: (i) City of Burnside (ii) City of Marion (iii) City of Mitcham (c) Urban Corridor (Boulevard) Zone (d) Urban Corridor (Business) Zone (e) Urban Corridor (Living) Zone (f) Urban Corridor (Main Street) Zone (g) Urban Neighbourhood Zone

[NOTE(S): (1)Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Detached dwelling - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature								
Land Use and Intensity									
<p>PO 1.1</p> <p>Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none">(a) Ancillary accommodation(b) Community facility(c) Consulting room(d) Dwelling(e) Educational establishment(f) Office(g) Place of Worship(h) Pre-school(i) Recreation area(j) Residential flat building(k) Retirement facility(l) Shop(m) Student accommodation(n) Supported accommodation								
Site Dimensions and Land Division									
<p>PO 2.1</p> <p>Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <table><tr><th>Dwelling Type</th><th>Minimum site/allotment area per dwelling</th><th>Minimum site/allotment frontage</th></tr><tr><td>Detached dwelling (not in a terrace arrangement)</td><td>300m² (exclusive of any battle-axe allotment 'handle')</td><td>9m where not on a battle-axe site 5m where on a battle-axe site</td></tr></table>			Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage	Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage							
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site							

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	Semi-detached dwelling	300m ²	9m
	Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
	Group dwelling	300m ² (average, including common areas)	15m (total)
	Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
PO 2.2 Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <ul style="list-style-type: none"> (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1 (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene: <ul style="list-style-type: none"> (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number. 		
PO 2.3 Land division results in sites that are accessible and suitable for their intended purpose.	<p>DTS/DPF 2.3</p> <p>Division of land satisfies (a), (b) or (c):</p> <ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an existing development authorisation under the Development Act 1993 or Planning, Development and Infrastructure Act 2016 where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments (c) satisfies all of the following: <ul style="list-style-type: none"> (i) No more than 5 additional allotments are created (ii) Each proposed allotment has a minimum site area of 300m² and frontage of 9m (iii) Each proposed allotment has a slope less than 12.5% (1-in-8) (iv) There are no regulated trees on or within 20m of the subject land, with the distance measured from the base of the trunk of the tree (or the nearest trunk of the tree) to the subject land (v) The division does not involve creation of a public road 		

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		(vi)	Vehicle access from a public road can be provided to all proposed allotments which satisfies Design in Urban Areas DTS/DPF 23.3, 23.4 and 23.6, and would be located wholly on one side of the allotment, or located no more than 1m from the side boundary alignment
		(vii)	No allotments are in a battle-axe configuration and
		(viii)	Each proposed allotment is of a size and dimension capable of containing a rectangle 9m in width and 15m in depth.
Site Coverage			
PO 3.1		DTS/DPF 3.1	
Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.		The development does not result in site coverage exceeding 60%.	
Building Height			
PO 4.1		DTS/DPF 4.1	
Buildings contribute to a low-rise suburban character.		Building height (excluding garages, carports and outbuildings) no greater than:	
		(a)	2 building levels and 9m
		and	
		(b)	wall height that is no greater than 7m except in the case of a gable end.
Primary Street Setback			
PO 5.1		DTS/DPF 5.1	
Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.		The building line of a building set back from the primary street boundary:	
		(a)	no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)
		(b)	where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building
		or	
		(c)	not less than 5m where no building exists on an adjoining site with the same primary street frontage.
Secondary Street Setback			
PO 6.1		DTS/DPF 6.1	
Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.		Building walls are set back from the boundary of the allotment with a secondary street frontage:	
		(a)	at least 900mm
		or	

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		(b)	if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.
Boundary Walls			
PO 7.1	Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.	DTS/DPF 7.1	<p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(b) side boundary walls do not:</p> <ul style="list-style-type: none"> (i) exceed 3m in height from the top of footings (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.
PO 7.2	Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 7.2	Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.
Side boundary setback			
PO 8.1	<p>Building walls are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>and</p> <p>(b) access to natural light and ventilation for neighbours.</p>	DTS/DPF 8.1	<p>Other than walls located on a side boundary, building walls are set back from side boundaries:</p> <p>(a) at least 900mm where the wall height is up to 3m</p> <p>(b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m</p> <p>and</p> <p>(c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.</p>
Rear boundary setback			
PO 9.1	<p>Dwelling walls are set back from rear boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>(b) access to natural light and ventilation for neighbours</p> <p>(c) private open space</p> <p>(d) space for landscaping and vegetation.</p>	DTS/DPF 9.1	<p>Dwelling walls are set back from the rear boundary at least:</p> <p>(a) if the size of the site is less than 301m²—</p> <ul style="list-style-type: none"> (i) 3m in relation to the ground floor of the dwelling (ii) 5m in relation to any other building level of the dwelling <p>(b) if the size of the site is 301m² or more—</p> <ul style="list-style-type: none"> (i) 4m in relation to the ground floor of the dwelling

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	(ii) 6m in relation to any other building level of the dwelling.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.	Except development involving any of the following: 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following):	Except development that:

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<ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>

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6. Alteration of or addition to any development involving the following (or of any combination of any of the following): (a) community facility (b) educational establishment (c) pre-school.		Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.	
7. Demolition.		Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.	
Placement of Notices - Exemptions for Performance Assessed Development			
None specified.			
Placement of Notices - Exemptions for Restricted Development			
None specified.			

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1	DTS/DPF 1.1

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Development comprising 20 or more dwellings / allotments incorporates affordable housing.		Development results in 0-19 additional allotments / dwellings.	
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.		DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.	
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.		DTS/DPF 1.3 None are applicable.	
Built Form and Character			
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.		DTS/DPF 2.1 None are applicable.	
Affordable Housing Incentives			
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.		DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.	
PO 3.2 To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.		DTS/DPF 3.2 Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the: (a) Business Neighbourhood Zone (b) City Living Zone (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone	

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Policy24		P&D Code (in effect) Version 2023.5 30/03/2023	
		<p>(p) Urban Renewal Neighbourhood Zone</p> <p>(q) Waterfront Neighbourhood Zone</p> <p>and up to 30% in any other zone, except where:</p> <p>(a) the development is located within the Character Area Overlay or Historic Area Overlay or</p> <p>(b) other height incentives already apply to the development.</p>	
Movement and Car Parking			
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>		<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <p>(a) 0.3 carpark per dwelling within a building which incorporates dwellings located above ground level within either:</p> <p>(i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(ii) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(iii) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(iv) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(v) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(vi) is within 400 metres of the Adelaide Parklands.</p> <p>or</p> <p>(b) 1 carpark per dwelling for any other dwelling.</p> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to	Development of a class to which Schedule 9

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		secure the provision of dwellings or allotments for affordable housing.	clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:	The airport-operator	To provide expert	Development of a class

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Policy24		P&D Code (in effect) Version 2023.5 30/03/2023	
(a)	building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>	company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.
(b)	building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .		to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated turbulence and windshear that may pose a safety hazard to aircraft flight movement.	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Defence Aviation Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of Defence Aviation Areas.	DTS/DPF 1.1 Building height does not exceed the relevant height specified by the <i>Defence Aviation Area Overlay</i> .

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature												
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none">(a) maximise conservation of water resources(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded(c) manage stormwater runoff quality.	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none">(a) includes rainwater tank storage:<ul style="list-style-type: none">(i) connected to at least:<ul style="list-style-type: none">A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof areaB. in all other cases, 80% of the roof area(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m²(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater(iv) with a minimum total capacity in accordance with Table 1(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area <p>Table 1: Rainwater Tank</p> <table><tr><th>Site size (m²)</th><th>Minimum retention volume (Litres)</th><th>Minimum detention volume (Litres)</th></tr><tr><td><200</td><td>1000</td><td>1000</td></tr><tr><td>200-400</td><td>2000</td><td>Site perviousness <30%: 1000 Site perviousness ≥30%: N/A</td></tr><tr><td>>401</td><td>4000</td><td>Site perviousness <35%: 1000 Site perviousness ≥35%: N/A</td></tr></table>	Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A	>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A
Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)											
<200	1000	1000											
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A											
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A											

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Traffic Generating Development Overlay**Assessment Provisions (AP)**

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
PO 1.1 Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.	DTS/DPF 1.1 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.
PO 1.2 Access points sited and designed to accommodate the type	DTS/DPF 1.2 Access is obtained directly from a State Maintained Road where

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and volume of traffic likely to be generated by development.	it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.
PO 1.3 Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.	DTS/DPF 1.3 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. 	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

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Urban Tree Canopy Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																												
PO 1.1 Trees are planted or retained to contribute to an urban tree canopy.	DTS/DPF 1.1 Tree planting is provided in accordance with the following: <table><tr><th>Site size per dwelling (m²)</th><th>Tree size* and number required per dwelling</th></tr><tr><td><450</td><td>1 small tree</td></tr><tr><td>450-800</td><td>1 medium tree or 2 small trees</td></tr><tr><td>>800</td><td>1 large tree or 2 medium trees or 4 small trees</td></tr></table> *refer Table 1 Tree Size <table><tr><th colspan="4">Table 1 Tree Size</th></tr><tr><th>Tree size</th><th>Mature height (minimum)</th><th>Mature spread (minimum)</th><th>Soil area around tree within development site (minimum)</th></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m² and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m² and min. dimension of 2m</td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	Site size per dwelling (m ²)	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m ² and min. dimension of 1.5m	Medium	6 m	4 m	30m ² and min. dimension of 2m				
Site size per dwelling (m ²)	Tree size* and number required per dwelling																												
<450	1 small tree																												
450-800	1 medium tree or 2 small trees																												
>800	1 large tree or 2 medium trees or 4 small trees																												
Table 1 Tree Size																													
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																										
Small	4 m	2m	10m ² and min. dimension of 1.5m																										
Medium	6 m	4 m	30m ² and min. dimension of 2m																										

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		Large	12 m	8m	60m ² and min. dimension of 4m
		The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.			
		Table 2 Tree Discounts			
		Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
		4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
		6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
		>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
		Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.			

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference

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None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting

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	<p>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>	

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p>

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		(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway	
		(b) are constructed with an all-weather trafficable surface.	
PO 8.3	Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):	DTS/DPF 8.3	None are applicable.
	(a) do not contribute to the instability of embankments and cuttings		
	(b) provide level transition areas for the safe movement of people and goods to and from the development		
	(c) are designed to integrate with the natural topography of the land.		
PO 8.4	Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4	None are applicable.
PO 8.5	Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5	None are applicable.
Overlooking / Visual Privacy (low rise buildings)			
PO 10.1	Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1	Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:
		(a)	are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm
		(b)	have sill heights greater than or equal to 1.5m above finished floor level
		(c)	incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2	Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2	One of the following is satisfied:
		(a)	the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace
		or	
		(b)	all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:
		(i)	1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land

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		(ii)	or 1.7m above finished floor level in all other cases
All residential development			
Front elevations and passive surveillance			
PO 17.1	DTS/DPF 17.1	Each dwelling with a frontage to a public street:	
Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.		(a)	includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m
		(b)	has an aggregate window area of at least 2m ² facing the primary street.
PO 17.2	DTS/DPF 17.2	Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.	
Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.			
Outlook and Amenity			
PO 18.1	DTS/DPF 18.1	A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.	
Living rooms have an external outlook to provide a high standard of amenity for occupants.			
Residential Development - Low Rise			
External appearance			
PO 20.1	DTS/DPF 20.1	Garages and carports facing a street:	
Garaging is designed to not detract from the streetscape or appearance of a dwelling.		(a)	are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling
		(b)	are set back at least 5.5m from the boundary of the primary street
		(c)	have a garage door / opening width not exceeding 7m
		(d)	have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
PO 20.2	DTS/DPF 20.2	Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:	
Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.		(a)	a minimum of 30% of the building wall is set back an additional 300mm from the building line
		(b)	a porch or portico projects at least 1m from the building wall
		(c)	a balcony projects from the building wall

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	<div><div>(d) a verandah projects at least 1m from the building wall</div><div>(e) eaves of a minimum 400mm width extend along the width of the front elevation</div><div>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</div><div>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</div></div>										
PO 20.3	DTS/DPF 20.3										
The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	None are applicable										
Private Open Space											
PO 21.1	DTS/DPF 21.1										
Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2	DTS/DPF 21.2										
Private open space is positioned to provide convenient access from internal living areas.	Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1	DTS/DPF 22.1										
Soft landscaping is incorporated into development to:	Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):										
<div><div>(a) minimise heat absorption and reflection</div><div>(b) contribute shade and shelter</div><div>(c) provide for stormwater infiltration and biodiversity</div><div>(d) enhance the appearance of land and streetscapes.</div></div>	<div><div>(a) a total area as determined by the following table:</div><table><tr><th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr><tr><td><150</td><td>10%</td></tr><tr><td>150-200</td><td>15%</td></tr><tr><td>>200-450</td><td>20%</td></tr><tr><td>>450</td><td>25%</td></tr></table><div>(b) at least 30% of any land between the primary street boundary and the primary building line.</div></div>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

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Car parking, access and manoeuvrability	
<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none">(a) single width car parking spaces:<ul style="list-style-type: none">(i) a minimum length of 5.4m per space(ii) a minimum width of 3.0m(iii) a minimum garage door width of 2.4m(b) double width car parking spaces (side by side):<ul style="list-style-type: none">(i) a minimum length of 5.4m(ii) a minimum width of 5.4m(iii) minimum garage door width of 2.4m per space.
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none">(a) a minimum length of 5.4m(b) a minimum width of 2.4m(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none">(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site(b) sites with a frontage to a public road greater than 10m:<ul style="list-style-type: none">(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none">(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land(b) where newly proposed, is set back:<ul style="list-style-type: none">(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner

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		(ii)	2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance
		(iii)	6m or more from the tangent point of an intersection of 2 or more roads
		(iv)	outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 23.5	Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.	DTS/DPF 23.5	<p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
PO 23.6	Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 23.6	<p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
Waste storage			
PO 24.1	Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 24.1	<p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
Design of Transportable Buildings			
PO 25.1	The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 25.1	<p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) are not transportable

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		(b)	the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Group Dwellings, Residential Flat Buildings and Battle axe Development			
Amenity			
PO 31.2		DTS/DPF 31.2	
The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.		None are applicable.	
PO 31.3		DTS/DPF 31.3	
Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.		None are applicable.	
PO 31.4		DTS/DPF 31.4	
Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.		Dwelling sites/allotments are not in the form of a battle-axe arrangement.	
Car parking, access and manoeuvrability			
PO 33.1		DTS/DPF 33.1	
Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.		Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:	
		(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)	
		(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly	
		(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.	
PO 33.4		DTS/DPF 33.4	
Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.		Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.	
PO 33.5		DTS/DPF 33.5	
Dwellings are adequately separated from common driveways and manoeuvring areas.		Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.	
Soft landscaping			
PO 34.2		DTS/DPF 34.2	
Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.		Battle-axe or common driveways satisfy (a) and (b):	
		(a) are constructed of a minimum of 50% permeable or porous material	
		(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).	

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Laneway Development			
Infrastructure and Access			
PO 44.1		DTS/DPF 44.1	
Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:		Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.	
(a) existing utility infrastructure and services are capable of accommodating the development			
(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)			
(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)			
(d) safety of pedestrians or vehicle movement is maintained			
(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.			

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m

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	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.

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(c)	septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.		
PO 12.2	Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2	Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in: a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following: a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m ² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)

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		b.	for ground level communal open space, at least half of the existing ground level open space.
PO 3.3	Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:	DTS/DPF 3.3	None are applicable.
	(a) the form of development contemplated in the zone		
	(b) the orientation of the solar energy facilities		
	(c) the extent to which the solar energy facilities are already overshadowed.		

Site Contamination

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use.	DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d): (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- A. site contamination does not exist (or no longer exists) at the land

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	<p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</p> <p>or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
PO 5.1 Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that	DTS/DPF 5.1 Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:

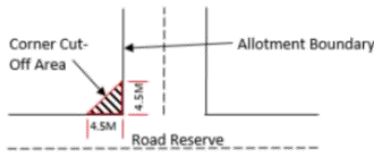
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may support a reduced on-site rate such as:		(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.	
		Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.		DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram: 	

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.			
Development generally			
All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p>

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(a)	is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service ⁽²⁾	(c)	Urban Corridor (Boulevard) Zone
(b)	is within 400 metres of a bus interchange ⁽¹⁾	(d)	Urban Corridor (Business) Zone
(c)	is within 400 metres of an O-Bahn interchange ⁽¹⁾	(e)	Urban Corridor (Living) Zone
(d)	is within 400 metres of a passenger rail station ⁽¹⁾	(f)	Urban Corridor (Main Street) Zone
(e)	is within 400 metres of a passenger tram station ⁽¹⁾	(g)	Urban Neighbourhood Zone
(f)	is within 400 metres of the Adelaide Parklands.		

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Fence - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded

under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
4. Any development involving any of the following (or of any combination of any of the following):	Except development that:

Policy24		P&D Code (in effect) Version 2023.5 30/03/2023
<ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment). 	
5. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	None specified.	
6. Alteration of or addition to any development involving the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) community facility (b) educational establishment (c) pre-school. 	Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.	
7. Demolition.	Except any of the following: <ul style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay. 	
Placement of Notices - Exemptions for Performance Assessed Development		
None specified.		
Placement of Notices - Exemptions for Restricted Development		
None specified.		

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:	The airport-operator	To provide expert	Development of a class

Policy24		P&D Code (in effect) Version 2023.5 30/03/2023		
(a)	building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>	company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
(b)	building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .			

Defence Aviation Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of Defence Aviation Areas.	DTS/DPF 1.1 Building height does not exceed the relevant height specified by the <i>Defence Aviation Area Overlay</i> .

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors

Policy24		P&D Code (in effect) Version 2023.5 30/03/2023
	(d)	sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.

Retaining wall - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will

be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
4. Any development involving any of the following (or of any combination of any of the following):	Except development that:

Policy24		P&D Code (in effect) Version 2023.5 30/03/2023	
<div>(a) consulting room</div> <div>(b) office</div> <div>(c) shop.</div>		<div>1. does not satisfy any of the following:</div> <div><div>(a) General Neighbourhood Zone DTS/DPF 1.4</div><div>(b) General Neighbourhood Zone DTS/DPF 4.1</div></div> <div>or</div> <div>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:</div> <div><div>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</div><div>or</div><div>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</div></div>	
<div>5. Any development involving any of the following (or of any combination of any of the following):</div> <div><div>(a) internal building works</div><div>(b) land division</div><div>(c) recreation area</div><div>(d) replacement building</div><div>(e) temporary accommodation in an area affected by bushfire</div><div>(f) tree damaging activity.</div></div>		None specified.	
<div>6. Alteration of or addition to any development involving the following (or of any combination of any of the following):</div> <div><div>(a) community facility</div><div>(b) educational establishment</div><div>(c) pre-school.</div></div>		Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.	
<div>7. Demolition.</div>		<div>Except any of the following:</div> <div><div>1. the demolition of a State or Local Heritage Place</div><div>2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</div></div>	
Placement of Notices - Exemptions for Performance Assessed Development			
None specified.			
Placement of Notices - Exemptions for Restricted Development			
None specified.			

Part 4 - General Development Policies

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
<p>PO 9.1</p> <p>Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.</p>	<p>DTS/DPF 9.2</p> <p>A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p>

ITEM	8.1.2
	COUNCIL ASSESSMENT PANEL
DATE	26 April 2023
APPLICATION NO.	23006923
APPLICANT	Rossdale Developments Unit Trust
PROPOSAL	Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m.
LOCATION	20 Hissar Avenue, Salisbury North SA 5108 Lot 82 Hissar Avenue, Salisbury North SA 5108 Lot 322 Holstein Drive, Salisbury North SA 5108 Lot 279 Holstein Drive, Salisbury North SA 5108
CERTIFICATE OF TITLE	CT-5133/607; CT-3265/15; CT-5483/909; CT-5740/195
AUTHOR	Kieron Barnes, Planning Consultant, City Development

1. DEVELOPMENT APPLICATION DETAILS

Zone/Policy Area	General Neighbourhood
Application Type	Performance Assessed
Public Notification	Representations received: Two Representations to be heard: Nil
Referrals - Statutory	None Required for Planning Consent
Referrals – Internal	Development Engineer
Planning and Design Code Version	2023.3
Assessing Officer	Kieron Barnes – Planning Consultant (Planning Studio)
Recommendation	Grant Planning Consent with Conditions

2. REPORT CONTENTS

This Report provides an assessment of the proposed development against the relevant provisions of the Planning and Design Code. This assessment has been based on a review of the following plans and documents which are appended to this report:

Attachment 1:	Proposal Plans and Supporting Documentation
Attachment 2:	Copy of Sign Displayed on the Land and Representations
Attachment 3:	Applicant's Response to Representations
Attachment 4:	Extract of Planning and Design Code

3. EXECUTIVE SUMMARY

The proposed development seeks to create 28 allotments for residential purposes as well as a 'development lot' which will be further divided via a separate Community Title land division. The proposed development also creates a public road (in the form of a cul-de-sac) which forms an extension of Horwood Road and provides access to the proposed allotments. In addition, a number of retaining walls and associated fences are proposed along some of the boundaries of the proposed allotments.

The proposed development is proceeding in accordance with a non-statutory Masterplan that has been endorsed by the City of Salisbury for the Lake Windermere Reserve and reflects the formal partnership arrangement between the City of Salisbury and Rossdale Developments.

The applicant (Rossdale Developments) has lodged four separate Development Applications. This includes two land division applications and two 'built-form' applications. Combined, these applications will establish 35 residential allotments over the subject site (28 Torrens Title allotments and 7 Community Title allotments) as well as 35 single-storey dwellings. The various applications also propose the creation of a public and private road as well as associated infrastructure to service the 35 dwellings.

Located within the General Neighbourhood Zone, the subject land includes the following four allotments which comprise Lake Windermere Reserve:

- 20 Hissar Avenue, Salisbury North;
- Lot 82 Hissar Avenue, Salisbury North;
- Lot 322 Holstein Drive, Salisbury North; and
- Lot 279 Holstein Drive, Salisbury North

While land division in the General Neighbourhood Zone is generally excluded from notification, the proposed development includes a number of retaining walls and associated fences which trigger a notification process. However, no statutory referrals were required as part of the Planning Consent stage.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in allotments which are suitable for their intended use (as per the detailed assessment undertaken of the separate 'land use' applications); and
- Represents an orderly expansion of the existing low-density residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Conditions.

4. BACKGROUND

Located within Salisbury North, Lake Windermere Reserve (the 'Reserve') is owned and managed by the City of Salisbury (the 'Council'). The heavily vegetated Reserve provides an important recreational and environmental asset for the surrounding residential area.

For some time now, the Council has been working on the development and implementation of a Masterplan for the Reserve (see Figure 1). The Masterplan was initiated following the 2007 closure and eventual demolition of the Salisbury North Community Centre which was previously located in the north-eastern corner of the Reserve fronting Hissar Avenue.

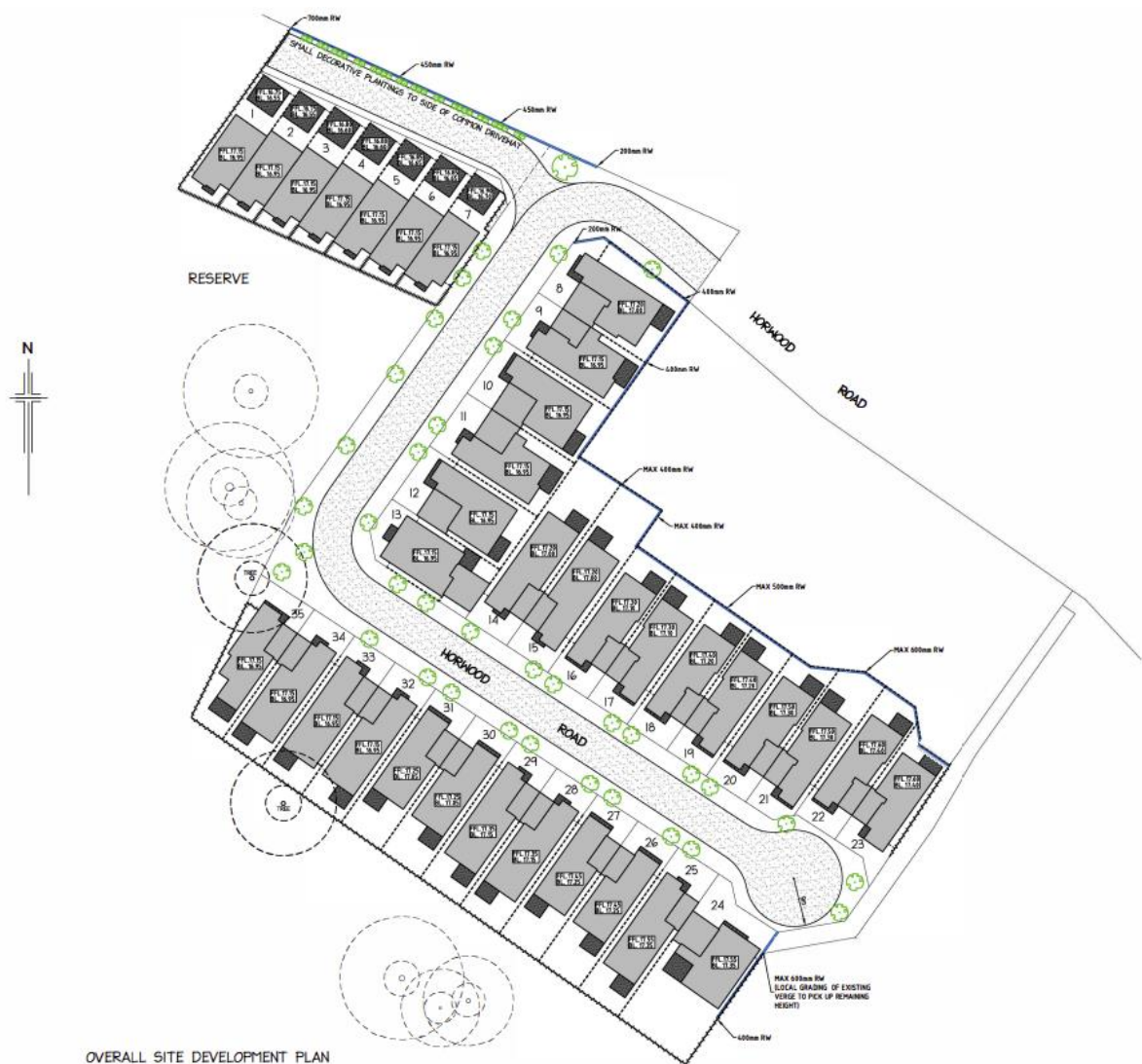
Figure 1: Lake Windermere Reserve Masterplan (Source: City of Salisbury)



A key element of the Masterplan is the establishment of a new residential development on the portion of the Reserve on which the Community Centre was formerly located as well as along a portion of the northern boundary of the Reserve (as an extension of Horwood Road). Accordingly, the Council has entered into a partnership arrangement with Rossdale Developments to deliver the residential component of the Masterplan. It is understood that the sale of a portion of the land for residential development will assist to fund various upgrades and improvements to the Reserve including flood mitigation works. Importantly, the Masterplan proposes the planting of a substantial number of additional trees within the

Given that the Reserve is classified as Community Land, a revocation process was required to enable a portion to be sold and developed for housing. This process, which was managed by the Council, followed extensive consultation with the community over a number of years.

Following the revocation process, a series of Development Applications have been lodged by Rossdale Developments which, ultimately, will establish 35 single-storey dwellings with associated roads and infrastructure in the north-eastern corner of the Reserve. The overall proposed development is illustrated in Figure 2 below.



The overall residential development illustrated above will proceed via four separate development Applications:

DA 23006923	<i>Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road and Reserve Strip, retaining walls and fencing with combined height greater than 2.1m</i>
DA 22036926	<i>Community title – Creation of Seven (7) Allotments and Private Driveway (Proposed Lot 1002 in Land Division 22036925)</i>
DA 22038410	<i>Twenty-Eight (28) Single Storey Dwellings to be delivered in stages and Removal of Three (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees</i>
DA 22038407	<i>Seven (7) Single Storey Dwellings and Private Driveway</i>

While the proposed development will proceed via four separate Development Applications, the applications are closely integrated and are dependent on one another. For this reason, a holistic assessment approach has been adopted which is reflected in the three reports which are presented to the CAP for consideration.

Given the Reserve is owned and managed by the Council, the Minister for Planning was requested to ‘call-in’ the development application to be assessed by the State Planning Commission rather than the Council’s Assessment Manager. The ‘call-in’ was requested to avoid a perceived conflict of interest. However, the Minister for Planning’s Delegate declined the ‘call-in’ request and noted that the Council could appoint the Council Assessment Panel (CAP), as an independent body, to assess the proposal, thereby removing the perceived conflict of interest.

Further to the above and, consistent with the Council’s Policy in relation to development undertaken by the Council, an independent planning consultant has been engaged to assess the application and prepare an assessment report for consideration by the CAP.

Should the Panel decide to grant Planning Consent to this proposal, Council’s Assessment Manager would be the Relevant Authority to assess the separate ‘land division consent’ of the proposal, which would include an assessment of various infrastructure related matters.

5. SUBJECT SITE

The subject land comprises four parcels of land as follows:

- 20 Hissar Avenue (Allotment 21), Salisbury North
- Lot 82 Hissar Avenue, Salisbury North
- Lot 322 Holstein Drive, Salisbury North
- Lot 279 Holstein Drive, Salisbury North

Combined, these allotments form the Lake Windermere Reserve (noting that 20 Hissar Avenue previously accommodated the Salisbury North Community Centre which has now been demolished).

The Reserve is approximately 6 hectares in area and is surrounded on three sides by Holstein Drive, Swinstead Crescent, Ferguson Street and Hissar Avenue. The northern side of the Reserve borders the Lake Windermere Children's Centre (pre-school) and Lake Windermere Primary School. Horwood Road and a number of dwellings adjoin the north-eastern corner of the Reserve.

The Reserve features a substantial amount of mature vegetation which is scattered around a central lake. A series of walking trails and recreational facilities (in the form of a playground) are also located in the Reserve.

The subject site (i.e. the portion of the subject land on which the development will be located), is approximately 1.35 hectares in area and is located in the north-eastern corner of the Reserve adjoining the existing residential area.

Apart from a number of landscaped mounds of earth, the site generally slopes down towards the lake in the centre of the Reserve. Portions of the subject land and the subject site fall within the Hazards (Flooding) and Hazards (Flooding General) Overlays. However, it is understood that the Council has recently undertaken flood mitigation works with a specific focus on the Reserve.

A four metre wide easement in favour of the Minister for Infrastructure is noted on Certificate of Title Volume 5483 Folio 909. This easement runs along the northern boundary of the Reserve (within Allotment 322). The portion of the easement which is within the subject site will be contained within a private road (Common Property) as part of the separate Community Title land division on the 'development lot' (proposed Lot 1002). Therefore, the existing easement will be retained as part of the overall residential development which will ensure that suitable access is maintained.

Site photos are provided below.

Photo 1:
*View North-
West along
Horwood
Road*



Photo 2:
Cul-de-sac at north-western end of Horwood Road, with School on the right



Photo 3:
View into the subject site from the Horwood Road cul-de-sac (No. 62 Horwood Road on left)



Photo 4:
*Within the
subject site,
looking
south-east
towards
Hissar
Avenue*



Photo 5:
*Within the
site,
generally
looking
north
towards the
proposed
community
title
developmen
t*



Photo 6:
Looking south-west towards Lake Windermere (outlook from the community titled section)



Photo 7:
Looking south-east along the School fence line (community titled development area on right hand side)



Photo 8:
Looking north-east into the development site, standing close to the existing playground



Photo 9:
Looking north into the site from Hissar Avenue (in front of No. 17)



Photo 10:
Looking north into the site from Hissar Avenue (in front of No. 23)



Photo 11:
Within the site, looking north-west. Rear of abutting Horwood Road properties on right hand side



6. LOCALITY

The locality is generally defined as comprising the Reserve, the adjoining Lake Windermere School and Children’s Centre as well as the adjacent residential development to the north-east and east fronting Horwood Road and Hissar Avenue.

Apart from the School and the Reserve, the locality is generally residential in character and nature reflecting the land uses sought in the General Neighbourhood Zone. Housing in the locality predominantly comprises single-storey detached dwellings on allotments ranging from approximately 400m² to approximately 800m² in area. Dwellings are typically setback approximately 6 to 8 metres from the primary frontage and generally feature generous rear yards which often contain domestic outbuildings.

A locality plan and contextual plan are provided below and on the following page.

Locality Plan – Aerial



Legend (Source: NearMap)	
	Site boundary
	Locality boundary
	Representor

Contextual Plan:




Legend (Source: SAPPA)



Site boundary

Panorama View – Looking North



Legend (Source: Nearmap)	
	Site boundary

7. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed development seeks the creation of 28 allotments for residential purposes as well as a ‘development lot’ (Lot 1002), with an area of 1,904m², on which a separate Community Title land division to create an additional seven residential allotments is proposed.

The allotments will all front a new 14 metre wide public road reserve which will form an extension of Horwood Road to the east and will create a ‘U’ shape cul-de-sac’ which terminates directly to the west of Hissar Avenue, thereby preventing through traffic.

The proposed allotments will generally be rectangular in shape and will range in area from 246m² to 472m² resulting in an average site area of 286m². Frontages will vary from a minimum of 8.36 metres (Lot 22) to a maximum of 16.40m (Lot 24).

The Bulk Earthworks Plan prepared by Intrax indicates that retaining walls will be required along the northern boundary of the ‘development lot (Lot 1002)’ as well as along the northern boundaries of Lot 8 and Lots 14 to 23. Retaining walls will also be required along the eastern boundaries of Lots 8 to 10 as well as Lot 24. The heights of the retaining walls will vary from a minimum of 400mm to a maximum of 700mm (near the north-western corner of Lot 1002).

A 1.8 metre high Colorbond Good Neighbour Fence will be installed on top of the retaining walls on Lot 1002 as well as on Lots 8 to 10 and 14 to 23. An open, 1.8 metre high tubular fence will be installed on top of the retaining wall on the eastern boundary of Lot 24.

While not constituting development, the tubular fence will generally extend around the perimeter of the site where it adjoins the Reserve. However, the southern boundary of Lot 1002, on which the Community Title land division and dwellings will be located, will feature a 1.2 metre high vertical batten fence.

The Schematic Design Plan prepared by Intrax indicates that the carriageway will be approximately 7.5 metres in width and will feature footpaths and street trees on both sides of the road. The Intrax Plan also provides indicative locations for crossovers as well as on-street car parking spaces. Finally, the Intrax Plan identifies that the allotments will be serviced by water, sewer, recycled water and stormwater infrastructure.

A copy of the proposal plans and supporting documentation is contained in Attachment 1.

8. CLASSIFICATION

Given that land division as well as retaining walls and fencing with a combined height greater than 2.1m are not listed as 'Accepted' or 'Deemed to Satisfy' in the General Neighbourhood Zone, the proposed development is a Performance Assessed development which must be assessed against the relevant provisions of the Planning and Design Code.

9. PUBLIC NOTIFICATION

Clause 5 of Table 5 of the General Neighbourhood Zone excludes 'land division' from notification. However, portions of the proposed retaining walls and associated fences will be situated on an allotment boundary and will exceed 11.5 metres in length. For this reason, the retaining walls and fences are not excluded from notification by Clause 3 of Table 5.

Public notification commenced on 23 March 2023 and concluded on 14 April 2023. Two valid representations were received during the notification period, with one in opposition and one in support (with some concerns).

The representors are listed below:

Representations received		
Representations		Wish to be Heard
1	Nastasja Agerman – 29 Swallowtail Street, Mount Barker SA 5251	No
2	Mervyn Taylor – 9 Hissar Avenue, Salisbury North	No

A copy of the public notice and representations received are contained in Attachment 2. The applicant's response is contained in Attachment 3. The content of the representations, and the applicant's response, are summarised in the table below:

Summary of Representations	
Representation	Applicant's Response
Nastasja Agerman	
<ul style="list-style-type: none"> Does not support the development How many trees are being cut down for this? What is being done to mitigate the impacts? <p>Housing is important, but so is nature. This project seems to eliminate a lot of that and not make up for it.</p>	An offset tree planting strategy has been provided to Council. 40 new trees will be planted throughout the Lake Windermere Reserve, which will be watered and maintained over a 12-month period to ensure they become established.
Mervyn Taylor	
<ul style="list-style-type: none"> Supports the development with some concerns. Concerned that allotments 33 to 35 will be too close to the walking trail around the lake. 	The path will be slightly realigned to ensure continuous connection, and to ensure that Allotments 33, 34 and 35 do not impact the path. The realigned path will be of the same size and width, using the same materials as the existing path.

10. REFERRALS – STATUTORY

No statutory referrals are required at the Planning Consent stage.

11. REFERRALS – INTERNAL

Department	Summarised Comment
Development Engineer	<i>The application was referred to Council's Development Engineer to review the civil outcomes of the proposed development. Following receipt of additional information and amendment to the overall scheme, Council's Engineer has advised the proposal is suitable from a civil, drainage and flood management perspective – subject to provision of detailed design information. Detailed design information will form part of a suite of Council requirements, to be required at the 'land division consent' stage.</i>
Parks and Open Space Assets	<i>The application was referred to Council's Parks and Open Space Assets Section, to review impacts of the proposal with respect to trees and landscape within the Reserve, and pedestrian connectivity to and from the site. The Parks and Open Space team have no objection to the proposal, and will liaise with the Applicant during the detailed design phase including tree planting within the Reserve, street tree planting within the new road, interface between the development site and Reserve, and pedestrian connections to Hissar Avenue, Horwood Road and the Reserve.</i>

12. ASSESSMENT

Pursuant to Section 107(2)(c) of the *Planning, Development and Infrastructure Act*, it is recommended that the Panel determine that the proposed development is not seriously at variance with the Planning and Design Code. The following reasons are given in support of this recommendation:

- a) The proposed land division will facilitate the construction of a number of low-density and low-rise dwellings which are envisaged forms of development in the General Neighbourhood Zone; and
- b) The proposed land division will not create an adverse impact on the amenity of locality (noting that the associated earthworks, public road, retaining walls and fences will complement the existing residential character of the locality).

Assessment

A detailed assessment of the application against the relevant provisions of the Planning and Design Code is outlined under a series of headings below. Further, a Policy Enquiry containing the relevant provisions of the Planning and Design Code relating to the proposed development on the subject land, is contained in Attachment 4.

Overlays

A summary of the proposed development's compliance with the relevant Overlays affecting the subject land is provided in the table below.

Overlay	Assessment
Affordable Housing	Not addressed by the applicant – while the proposed development comprises more than 20 dwellings/allotments, none of these allotments has been designated for affordable housing.
Airport Building Heights (Regulated) (All structures over 45 metres)	Satisfies – future dwellings on the land will not exceed 45 metres in height.
Building Near Airfields	Satisfies – the development will not impact on the operational and safety requirements of an airfield.
Defence Aviation Area (All structures over 15 metres)	Satisfies – future dwellings on the land will not exceed 15 metres in height.
Hazards (Flooding)	Satisfies – the proposed earthworks and retaining walls have been designed to ensure that future dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Hazards (Flooding - General)	Satisfies – the proposed earthworks and retaining walls have been designed to ensure that future dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Prescribed Wells Area	Not applicable

Regulated and Significant Tree	Addressed in separate dwellings applications
Stormwater Management	Satisfies – the development will proceed in accordance with an overarching stormwater management plan including Water Sensitive Urban Design techniques.
Urban Tree Canopy	Satisfies – street trees will be planted along both side of the public road and each allotment will have sufficient space to plant additional trees.
Water Resources	Not applicable – the proposed development will not impact on a watercourse.

Local Variation (TNV)

Development on the subject land will not impact on the operation of the Edinburgh Defence Airfield as it will not involve upward lighting. Accordingly, the requirements of Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints) have been satisfied.

Land Use and Intensity

It is noted that the purpose of the land division is to create allotments suitable for low-rise, low-density residential development. Accordingly, the proposed development is consistent with Desired Outcome (DO) 1 as well as PO 1.1 and its associated DTS/DPF 1.1 of the General Neighbourhood Zone:

DO 1 *Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.*

PO 1.1

Predominantly residential development with complementary non-residential uses that support an active, convenient and walkable neighbourhood.

DTS/DPF 1.1

Development comprises one or more of the following:

- (a) Ancillary accommodation
- (b) Community facility
- (c) Consulting room
- (d) Dwelling
- (e) Educational establishment
- (f) Office
- (g) Place of Worship
- (h) Pre-school
- (i) Recreation area
- (j) Residential flat building
- (k) Retirement facility
- (l) Shop
- (m) Student accommodation
- (n) Supported accommodation

On this basis, the proposed land use and intensity is considered appropriate and will represent a logical and orderly extension of the existing residential area to the east of the Reserve.

Site Dimensions and Land Division

POs 2.1, 2.2 and 2.3 and the associated DTS/DPFs of the General Neighbourhood Zone provide guidance in relation to the size and dimension of allotments/sites created through the land division process. However, PO 2.2 specifically relates to allotments/sites in conjunction with the retention of an existing dwelling. On this basis only POs 2.1 and 2.3 are relevant to the proposed development:

PO 2.1

Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.

DTS/DPF 2.1

*Development will not result in more than 1 dwelling on an existing allotment
or
Allotments/sites for residential purposes accord with the following:*

Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Semi-detached dwelling	300m ²	9m
Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
Group dwelling	300m ² (average, including common areas)	15m (total)
Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)

PO 2.3

Land division results in sites that are accessible and suitable for their intended purpose.

DTS/DPF 2.3

Division of land satisfies (a), (b) or (c):

- (a) *reflects the site boundaries illustrated and approved in an existing development authorisation under the Development Act 1993 or Planning, Development and Infrastructure Act 2016 where the allotments are used or are proposed to be used solely for residential purposes*
- (b) *is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments*
- (c) *satisfies all of the following:*
 - i) *No more than 5 additional allotments are created*
 - ii) *Each proposed allotment has a minimum site area of 300 sqm and frontage of 9 m*
 - iii) *Each proposed allotment has a slope less than 12.5 % (1 in 8)*
 - iv) *There are no regulated trees on or within 20m of the subject land, with the distance measured from the base of the trunk of the tree (or the nearest trunk of the tree) to the subject land*
 - v) *The division does not involve creation of a public road*
 - vi) *Vehicle access from a public road can be provided to all proposed allotments which*

satisfies Design in Urban Areas DTS/DPF 23,3, 23.4 and 23.6, and would be located wholly on one side of the allotment, or located no more than 1m from the side boundary alignment

vii) *No allotments are in a battle-axe configuration*
And

viii) *Each proposed allotment is of a size and dimension capable of containing a rectangle 9m in width and 15m in depth.*

In relation to DTS/DTF 2.1, it is noted that the land division (excluding Lot 1002) will create sites suitable for detached dwellings. It is further noted that DTS/DPF 2.1 seeks a minimum site area of 300m² and a minimum frontage of 9 metres for detached dwellings. As noted previously in this report, the proposed site areas vary from 246m² to 472m² resulting in an average site area of 286m². Frontages will vary from a minimum of 8.36 metres (Lot 22) to a maximum of 16.40m (Lot 24).

While some of the proposed allotments will fall short of the desired 300m² for detached dwellings, the average site area of 286m² is only marginally less than sought by DTS/DPF 2.1. Also, it is noted that the majority of dwellings will abut one another with garage walls located along a common boundary. In this way, the dwellings will give the appearance of 'detached dwellings in a terrace arrangement' which, according to DTS/DPF 2.1 would allow the application of a smaller allotment size (250m²) and a smaller frontage (7 metres).

It is also noted that the proposed development adjoins a valuable substantial area of public open space (Lake Windermere Reserve) and is within close walking distance of a pre-school and primary school. On this basis, the proposed development satisfies PO 2.1's desire for higher residential densities close to public open space. In saying this, the proposed allotments and dwellings will remain compatible with the low-rise and predominantly low-density neighbourhood.

In response to PO 2.3, the proposed development represents a logical expansion of the existing residential area and will create sites which are accessible and suitable for their intended purpose.

In terms of DTS/DPF 2.3, it is noted that the separate application for the proposed dwellings appropriately addresses matters in relation to site areas as well as Regulated and Significant Trees.

Further guidance is provided by the 'Land Division' General Development Policies within the Planning and Design Code. In particular, DO 1 seeks allotments of appropriate dimensions and shape for their intended use while also preserving significant vegetation and other environmental features.

DO 1 Land division:

- (a) *creates allotments with the appropriate dimensions and shape for their intended use*
- (b) *allows efficient provision of new infrastructure and the optimum use of underutilized infrastructure*
- (c) *integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation watercourses, water bodies and other environmental features*

- (d) facilitates solar access through allotment orientation
- (e) creates a compact urban form that supports active travel, walkability and the use of public transport
- (f) avoids areas of high natural hazard risk.

In response to DO 1, it is noted that the proposed allotments will facilitate the logical and coordinated extension of the existing residential area. In this way, efficient provision of new infrastructure will be achieved while also utilizing existing infrastructure. Further, the proposed development will contribute to a compact urban form which supports active travel and walkability.

In terms of solar access, the majority of allotments will feature a north-south orientation which will maximise access to sunlight.

While the development will require the removal of a number of Regulated and Significant Trees, the removal of these trees has been offset by a range of community benefits associated with improvements to the Reserve.

An assessment of the remaining relevant 'land division' General Development Policies is provided in the table below.

Performance Outcome	Assessment
PO 1.1 <i>Land division creates allotments suitable for their intended use.</i>	Satisfies – the allotments are of a suitable size and dimension to accommodate the proposed single-storey dwellings without resulting in an adverse impact on surrounding development.
PO 1.2 <i>Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.</i>	Satisfies – the proposed development is proceeding in accordance with a Masterplan endorsed by the Council which seeks to balance the development against the preservation of the environmental features of the Reserve.
PO 2.1 <i>Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.</i>	Satisfies – the land division includes the majority of the earthworks and retaining walls that are required to establish appropriate sites for the proposed dwellings. The heights of the retaining walls vary from a minimum of 400mm to a maximum of 700mm and are the minimum necessary to provide stormwater overland flow path from the development to drainage network into the adjoining Lake Windemere.
PO 2.2 <i>Land division enables the appropriate management of interface impacts between</i>	Satisfies – there are no potentially conflicting land uses in the locality.

<i>potentially conflicting land uses and/or zones.</i>	
PO 2.3 <i>Land division maximises the number of allotments that face public open space and public streets.</i>	Satisfies – all of the proposed allotments will face either public open space or a public street.
PO 2.4 <i>Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.</i>	Satisfies – the land division forms a logical and coordinated extension of the existing residential area and sensitively integrates with the adjoining Lake Windermere Reserve.
PO 2.5 <i>Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.</i>	Satisfies – the land division and associated dwellings will be provided with appropriate infrastructure in the form of roads, power, water and sewer.
PO 2.6 <i>Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.</i>	Satisfies – the land division and associated earthworks has addressed the risk of flooding.
PO 2.7 <i>Land division results in legible street patterns connected to the surrounding street network.</i>	Satisfies – the proposed public road will form a logical extension of Horwood Road thereby creating a legible street pattern
PO 3.1 <i>Land division provides allotments with access to an all-weather public road.</i>	Satisfies – a new public road connection and extension of Horwood Road is proposed.
PO 3.2 <i>Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.</i>	Satisfies – the public road will provide footpaths for pedestrians while also enabling the safe and efficient movement of cycle and vehicular traffic.
PO 3.3 <i>Land division does not impede access to publicly owned open space and/or recreation facilities.</i>	Satisfies – access to Lake Windermere Reserve will remain available via the proposed public road and from other existing roads in the locality.
PO 3.4 <i>Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.</i>	Satisfies – the public road will provide for the safe and efficient movement of vehicles (including emergency vehicles) while also providing on-street parking.
PO 3.5 <i>Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.</i>	Satisfies – the public road will provide footpaths for pedestrians as well as accommodating street trees.
PO 3.6 <i>Road reserves accommodate stormwater drainage and public utilities.</i>	Satisfies – the public road will accommodate stormwater infrastructure.
PO 3.7 <i>Road reserves provide unobstructed vehicular access and egress to and from</i>	Satisfies – the plans identify indicative crossover locations to each allotment and associated dwelling.

<i>individual allotments and sites.</i>	
PO 3.8 <i>Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.</i>	Satisfies – the public road has been designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.
PO 3.9 <i>Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.</i>	Satisfies – the public road will provide safe and convenient linkages to the Lake Windermere Reserve.
PO 3.10 <i>Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.</i>	Satisfies – sufficient space has been provided in the road reserve to enable the planting of street trees.
PO 4.1 <i>Land division incorporates public utility services within road reserves or dedicated easements.</i>	Satisfies – public utility services will be incorporated within the road reserve.
PO 4.2 <i>Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.</i>	Satisfies – the Schematic Design Plan prepared by Intrax demonstrates that the sewage generated by the dwellings on each allotment can be disposed of without risk to the public health or the environment.
PO 9.1 <i>Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.</i>	Satisfies – while the land division does not propose any additional areas of public open space, it will adjoin an existing high-quality area of open space.
PO 10.1 <i>Land division creating 20 or more residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</i>	Satisfies – the land division includes a stormwater management system which will be located within the road reserve and will provide connections to each individual allotment.
PO 10.3 <i>Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</i>	Satisfies – the stormwater management system will appropriately address water quality targets.
PO 11.1 <i>Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.</i>	Satisfies – the majority of allotments will be oriented in a north-south direction which will maximise solar access.

In summary, the land division:

- Will create allotments suitable for their intended residential use;
- Will not result in substantial earthworks or significant retaining walls;
- Will not create interface impacts between potentially conflicting land uses and/or zones;
- Will be integrated with site features, adjacent land uses, the existing transport network and available infrastructure;
- Will create allotments which are connected to an all-weather public road as well as other essential infrastructure such as water, power and sewer; and
- Will not impede public access to the Lake Windermere Reserve.

For the above reasons, the proposed land division generally satisfies the relevant ‘land division’ General Development Policies of the Planning and Design Code.

13. CONCLUSION

The City of Salisbury has entered into a partnership arrangement with Rosedale Developments to establish a residential development in the north-eastern corner of Lake Windermere Reserve. The proposed residential development is consistent with the Masterplan that has been endorsed for the Lake Windermere Reserve and which was prepared with the assistance of the local community over a number of years.

The proposed development seeks to create 28 allotments for residential purposes as well as a ‘development lot’ which will be further sub-divided via a separate Community Title land division. A public road (cul-de-sac), which forms an extension of Horwood Road, will also be constructed to provide access to the proposed allotments. In addition, a number of retaining walls and associated fences are proposed along some of the boundaries.

Given that the proposed residential development is of a form and design that is anticipated in the General Neighborhood Zoning, the proposed allotments will be suitable for their intended use. Also, the development will ensure that the remaining portion of Lake Windermere Reserve will continue to function as a valuable recreational and open space facility for the local and broader community.

Importantly, matters such as the design and siting of the proposed dwellings as well as the removal of Regulated and Significant Trees are being assessed concurrently via the separate built-form applications.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in allotments which are suitable for their intended use (as per the detailed assessment undertaken of the separate ‘land use’ applications); and
- Represents an orderly expansion of the existing residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Conditions.

14. STAFF RECOMMENDATION

That the Council Assessment Panel resolve that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to Section 107 of the Planning, Development and Infrastructure Act 2016, Planning Consent is GRANTED to application number 23006923 for Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m.in accordance with the plans and details submitted with the application and subject to the following Conditions:

Planning Conditions

1. The proposal shall be developed in accordance with the details and Council stamped approved plans lodged with the application, except where varied by the conditions herein.
2. The generation of airborne dust caused as a result of construction works shall be minimised at all times. Where generation of airborne dust is likely to cause nuisance beyond the site boundaries, dust control measures shall be implemented immediately.
3. A Soil Erosion and Drainage Management Plan and Construction Environment Management Plan shall be submitted to Council for Approval. The Soil Erosion and Drainage Management Plan and Construction Environment Management Plan shall be prepared in accordance with the document entitled “Handbook for Pollution Avoidance on Commercial and Residential Building Sites”, prepared by the Environment Protection Authority.
 - (a) Hours of operation for all civil works;
 - (b) Arrangements for management of stormwater, noise and dust both during and post construction;
 - (c) Silt/erosion management both during and post construction;
 - (d) Measures to eliminate drag-out from the site during wet weather events.
4. All recommendations contained under the Soil Erosion and Drainage Management Plan and Construction Environment Management Plan, Approved under Planning Consent Condition 3, shall be met all times.

Advice Notes

Rights of Appeal

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Consent valid for 24 months

Building Consent and Development Approval must be obtained within 24 months from the date of this Notification, unless this period has been extended by the Council. Work cannot commence until a Development Approval is obtained.

Advice regarding Council land

This Development Approval does not constitute land owners approval. The following applies to any works on Council land:

- Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or over Council land, is subject to a permit from Council pursuant to Section 221 of the Local Government Act 1999.
- Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from roof expansion.
- Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and therefore permission should be first sought from Council before commencing any works;
- It is the developers/owners responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.

Fences Act

You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the Fences Act 1975. To find out more, please visit: <https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>

Construction Noise

The applicant is reminded that demolition and construction is required to be carried out so that it complies with the mandatory construction noise provisions of Part 6, Division 1 of the Environment Protection (Noise) Policy 2007 and the provisions of the Local Nuisance and Litter Control Act 2016. Under the Local Nuisance and Litter Control Act 2016, construction noise is declared to constitute a local nuisance as follows:

The noise has travelled from the location of the construction activity to neighbouring premises

—

- On any Sunday or public holiday;
- After 7pm or before 7am on any other day.

EPA and Local Nuisance Matters

The applicant is reminded of its general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practicable measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.

In addition, the applicant is responsible for ensuring the development (including demolition, civil works and construction activities) do not cause a ‘local nuisance’ under the Local Nuisance and Litter Control Act 2016

Accordingly, your site planning activities should consider:

- providing a stabilised entry/exit point to the site for all construction and trade vehicles, including contained wash down area for vehicles and equipment
- appropriately located stockpiles and storage materials
- a suitable and designated area for brick cutting and concrete works
- a contained area for paint and plastering waste and wash waters
- appropriate location of noisy equipment so as to avoid unreasonable impacts to neighbours
- dust control measures such as use of a water cart and/or covering stockpiles

Note: EPA information sheets, guidelines documents, codes of practice, technical bulletins etc. can be accessed on the following web site: <http://www.epa.sa.gov.au>.

ATTACHMENTS

This document should be read in conjunction with the following attachments:

1. Proposal Plans and Supporting Documentation
2. Copy of Sign Displayed on the Land and Representations
3. Applicant's Response to Representations
4. Extract of Planning and Design Code

Appendix 1

Proposal Plans and Supporting Documentation



Product Register Search (CT 5133/607)
 Date/Time 12/08/2021 02:05PM
 Customer Reference
 Order ID 20210812006583



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5133 Folio 607

Parent Title(s) CT 5128/491
 Creating Dealing(s) RTD 7488656
 Title Issued 22/07/1993 Edition 1 Edition Issued 22/07/1993

Estate Type

FEE SIMPLE

Registered Proprietor

CITY OF SALISBURY
 OF PO BOX 8 SALISBURY SA 5108

Description of Land

ALLOTMENT 21 DEPOSITED PLAN 36990
 IN THE AREA NAMED SALISBURY NORTH
 HUNDRED OF MUNNO PARA

Easements

NIL

Schedule of Dealings

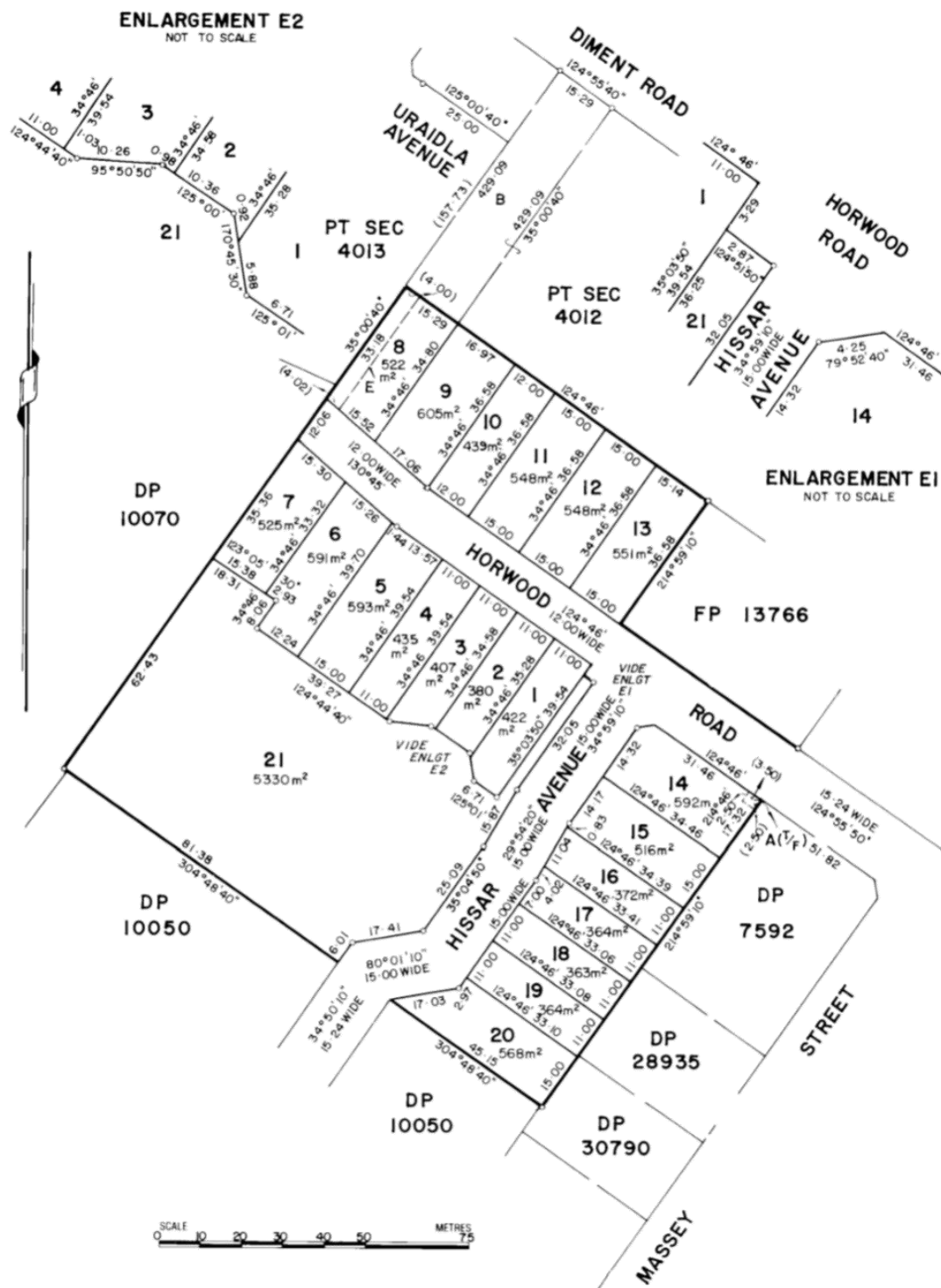
NIL

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



Product Register Search (C15133/007)
 Date/Time 12/08/2021 02:05PM
 Customer Reference
 Order ID 20210812006583





Product Register Search (CT 5483/909)
 Date/Time 12/08/2021 02:02PM
 Customer Reference
 Order ID 20210812006535

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5483 Folio 909

Parent Title(s) CT 4199/343
 Creating Dealing(s) CONVERTED TITLE
 Title Issued 17/12/1997 Edition 1 Edition Issued 17/12/1997

Estate Type

FEE SIMPLE (RESERVE)

Registered Proprietor

CITY OF SALISBURY
 OF PO BOX 8 SALISBURY SA 5108

Description of Land

ALLOTMENT (RESERVE) 322 DEPOSITED PLAN 10070
 IN THE AREA NAMED SALISBURY NORTH
 HUNDRED OF MUNNO PARA

BEING A RESERVE

Easements

SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A HEREON TO THE MINISTER FOR INFRASTRUCTURE (T 4925745)

Schedule of Dealings

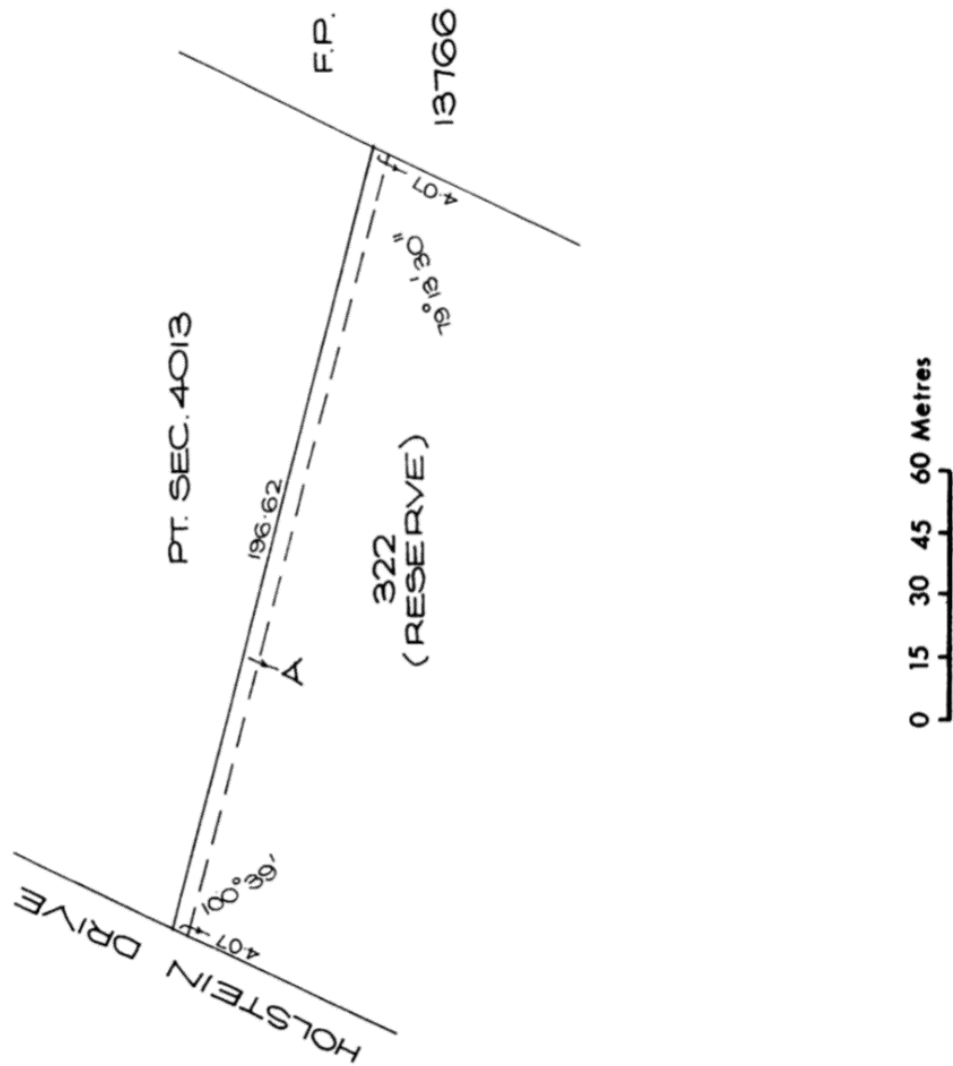
NIL

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



Product	Register Search (C1 3463/303)
Date/Time	12/08/2021 02:02PM
Customer Reference	
Order ID	20210812006535





Product Register Search (CT 5740/195)
 Date/Time 12/08/2021 02:03PM
 Customer Reference
 Order ID 20210812006562



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5740 Folio 195

Parent Title(s) CT 4096/327
 Creating Dealing(s) CONVERTED TITLE
 Title Issued 02/03/2000 Edition 1 Edition Issued 02/03/2000

Estate Type

FEE SIMPLE (RESERVE)

Registered Proprietor

CITY OF SALISBURY
 OF PO BOX 8 SALISBURY SA 5108

Description of Land

ALLOTMENT (RESERVE) 279 DEPOSITED PLAN 10432
 IN THE AREA NAMED SALISBURY NORTH
 HUNDRED OF MUNNO PARA

BEING A RESERVE

Easements

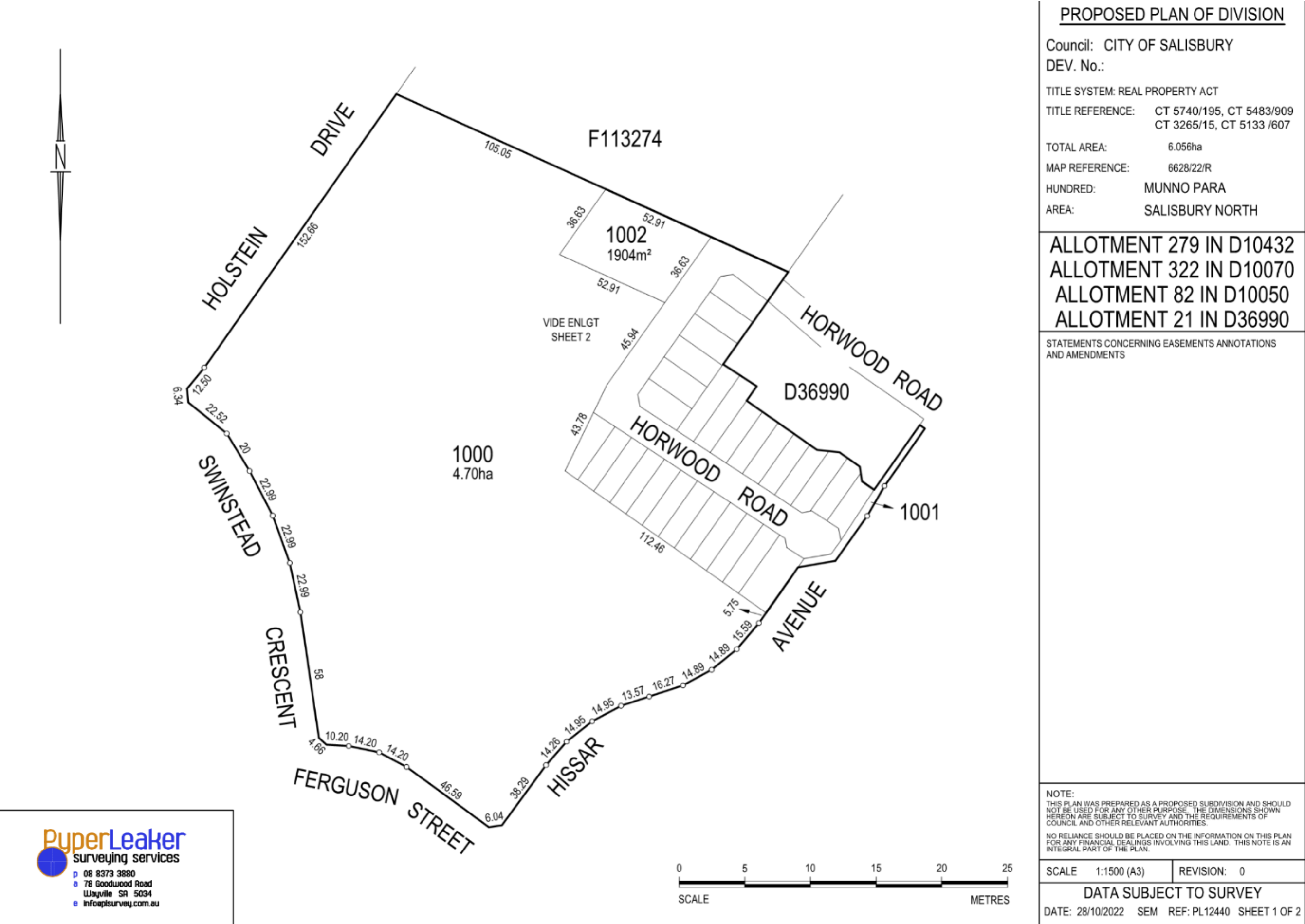
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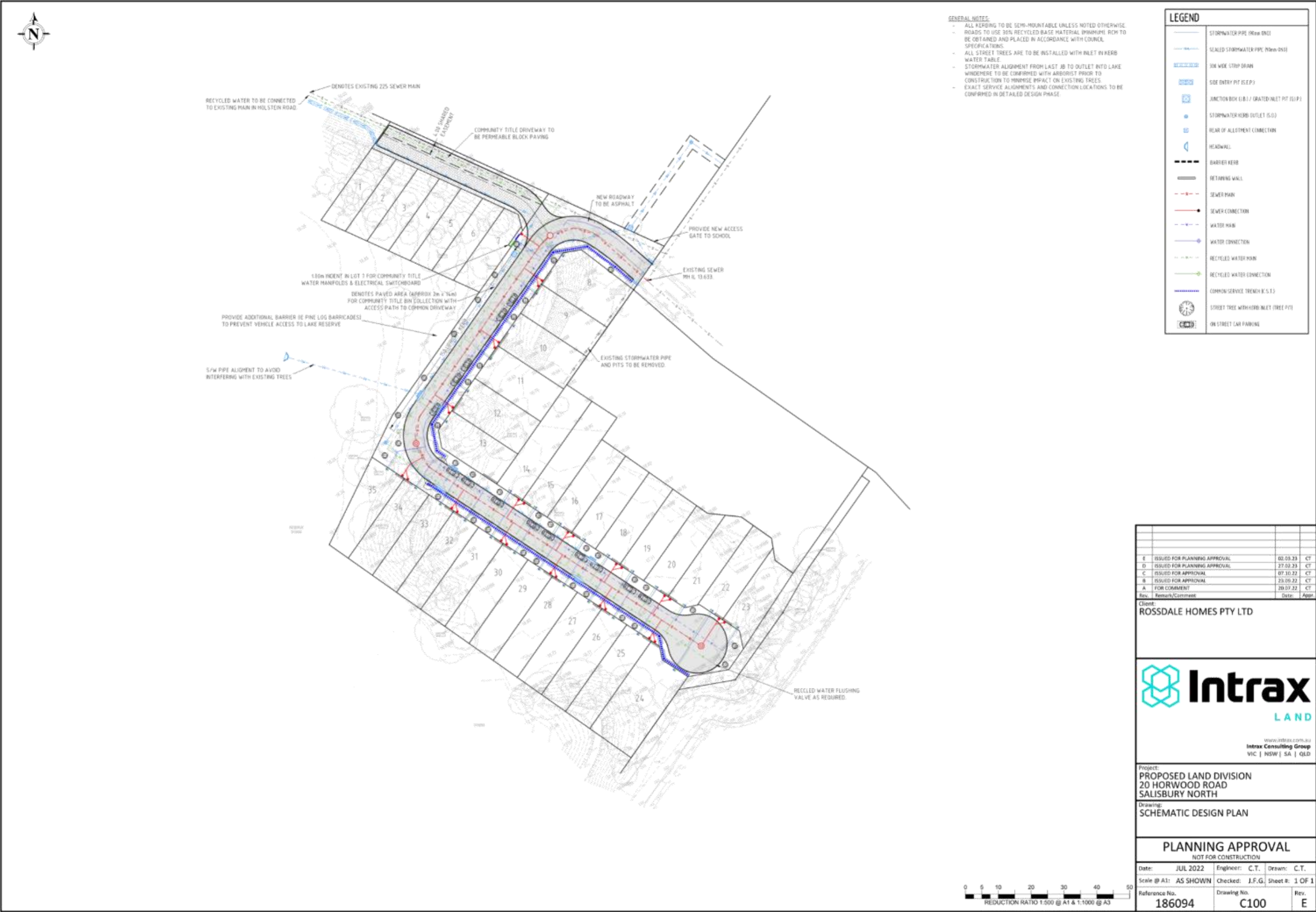
Schedule of Dealings

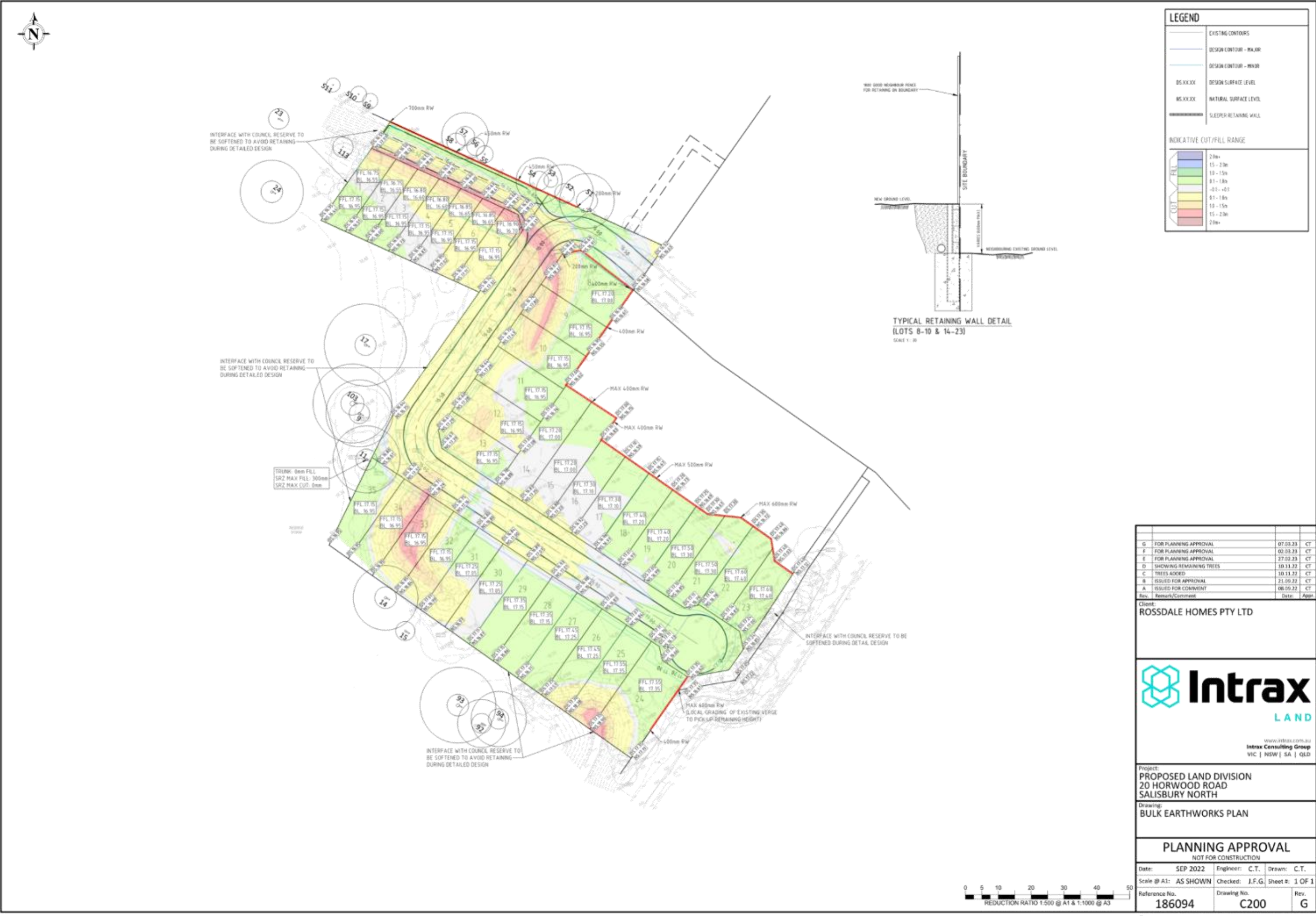
NIL

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL







Item 8.1.2 - Attachment 1 - Proposal Plans and Supporting Documentation



Stormwater Management Report

HORWOOD ROAD, SALISBURY NORTH, SA
ROSSDALE HOMES

Presented By
Clint Thomas
Senior Civil Engineer

Date
27 February 2023

Author
Clint Thomas

Published
27/02/2017

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Intrax Consulting Engineers Pty Ltd
ABN: 31 106 481 252

Office
Level 1, 185 Fullarton Road
Dulwich, SA 5065
p: 08 8165 0122
w: www.intrax.com.au



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Document Revision History

Date	Rev	Author	Approved by	Comments
23.09.22	1	Clint Thomas		First Edition



LAND-Master Template-Word Document with Cover[A].docx
27/02/2017

Document Revision: B
Template Version: Vi
Page 3 of 6

1 Introduction

1.1 Overview

Situated at the end of Horwood Road, next to Lake Windemere, the subject site covers approximately 1.35Ha which has been vacant since late 2012. The proposed land division will create 28 Torrens titled allotments with an extension to Horwood road, as well as 7 community titled allotments with a common driveway.



FIGURE 1: AERIAL IMAGE (SOURCE: NEARMAPS.COM)

1.2 Existing Stormwater Network

The site contains a large bund, previously build for flood prevention of Lake Windemere. This bund is approximately 2-3m tall and runs under the tree line to the west of the site. The site currently drains towards an existing grated sump at the rear of 62 Horwood, and then into the lake via a 300mm RCP, which also conveys the pair of SEPs on Horwood Rd, and a grated sump that caters for the runoff for a portion of the school oval and site of the future Uraidla Rd development. These SEPs will be retaining and redirected into the new pipe system

1.3 Neighbouring Catchments

The stormwater in the vacant parcel to the north-east (known as the Uraidla Development through this report) will convey through this development in the future when it is developed. This catchment is approximately 6.50Ha and will be a residential land division. Although that development is not in progress, allowances will be made for it in the design of the stormwater system for this development with increased pipe sizes to allow for the future flows.

2 Stormwater Objectives & Strategies

2.1 Stormwater Objectives

This report will detail the extend of the stormwater collected on the subject site and demonstrate how it will be directed and discharged via the drainage network, while considering stormwater quality management and Water Sensitive Urban Design (WSUD) elements.

2.2 Stormwater Management

2.2.1 Underground Drainage System

The stormwater system will consist of, side entry pits (SEP), grated sumps (GS), reinforced concrete pipes (RCP), junction boxes (JB) and headwalls (HW) to convey the site runoff, all installed and specified in accordance with council requirements.

2.2.2 During Construction Controls

Temporary basins to collect runoff and sediment will be implemented during construction to control runoff and erosion in the site, and nearby areas. Along side these basins, silt fences, hay bail barriers and shaker pads for machinery will be used. A sedimentation control plan will be submitted to council during the detailed design phase for comment and approval.

2.2.3 Site Flooding

The adjacent Lake Windemere floods in the 1:100yr event, which causing spilling above the 16.65 level. This means that the subject development will experience localised flooding within the road reserve. A high point has been provided at the norther end of the main road, just south of the bend, providing a barrier to prevent the water from entering the school oval to the north. As the lake spills, the roadway will contain water, and then subsequently drains to the lake via pit and pipe system as the lake level subsides.

The community title driveway slopes away from the above-mentioned high point, and flows north east to a grated sump which translated minor flows back to the pit and pipe system, and ultimately into the lake. Major flows however will breach the kerb at the grated sump and convey via a swale to Holstein Road. This method minimises the retaining along the school boundary, as well as the general earthworks impact to the surrounding reserve.

The dwellings have been designed to be at a minimum floor level of 17.15 to minimise the impact of this flooding.

2.3 Stormwater Management Plan (SMP)

The stormwater management plan submitted with this report has been prepared to illustrate the overall intent with regards to stormwater collection, detention, and discharge, in accordance with the council requirements for the site. The layout is the intended design

2.4 Water Sensitive Urban Design (WSUD)

Water quality management will take the form of a gross pollutant trap (GPT) and litter baskets in the side entry pits at the minimum, with other likely measures added to meet the EPA & council requirements listed below. MUSIC software will be used to model the stormwater quality, and determine the devices and systems required to meet the EPA & council targets.

EPA/Council design requirements for stormwater quality are:

- 90% reduction is Gross Pollutants (GP) from typical urban pollutant load
- 80% reduction in Total Suspended Solids (TSS) from typical urban pollutant load
- 60% reduction in Total Phosphorous (TP) from typical urban pollutant load



- 45% reduction in Total Nitrogen (TN) from typical urban pollutant load.

3 Stormwater Modelling & Analysis

3.1 Drains

A drains model was used to determine the approximate pre and post development flows from the site. These flows detailed in the below sections were taking using 95% grass/landscaping for the pre-development flows, and 70% paved/30% grass for the post-development sites. The drains model has been included as part of this submission.

3.2 Pre-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	67 L/s	560 L/s
Horwood Development	13 L/s	142 L/s
Combined Development	80 L/s	702 L/s

3.3 Post-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	401 L/s	1,276 L/s
Horwood Development	178 L/s	272 L/s
Combined Development	579 L/s	1,548 L/s

4 Conclusion

The proposed site once developed will utilise a pie and pipe network, designed to cater for the minor and major storm events, to convey stormwater runoff from the allotments and road reserves. This pit and pipe network will be contained within the road reserve, before discharging through the reserve and into Lake Windemere.

The stormwater management plan has been developed and designed with advice from the City of Salisbury Council in order so deliver the abovementioned stormwater system. Detention for the stormwater is not required for this site due to the proximity to Lake Windemere which itself is a detention basin. The development will implement WSUD techniques to treat runoff stormwater to meet council and EPA requirements



Appendix 2

Copy of Sign Displayed on the Land and Representations

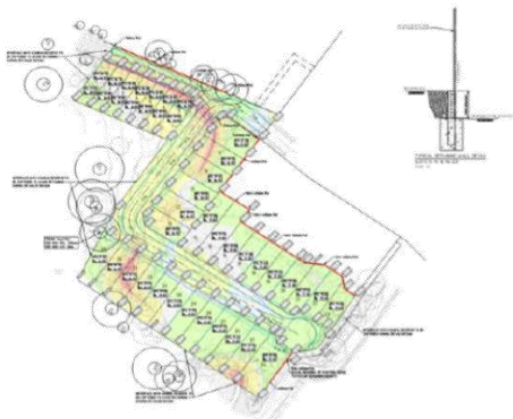
PLANNING, DEVELOPMENT & INFRASTRUCTURE ACT 2010 - NOTICE UNDER SECTION 107(3)(a)(ii)

Proposed Development

20 HISSAR AV SALISBURY NORTH SA 5108

LOT 322 HOLSTEIN DR SALISBURY NORTH SA 5108

LOT 279 HOLSTEIN DR SALISBURY NORTH SA 5108



Brief Explanation of Proposal

The applicant proposes twenty-nine new allotments to be used for residential purposes, including a new public road to service the allotments (continuation of Horwood Road). Through a separate land division application, a further seven community title allotments are proposed over Allotment 1002. Future residential dwellings will be assessed via separate applications.

To ensure flood protection of the proposed allotments, site filling and retaining walls are also proposed.

Invitation for Comment

Under the Planning and Design Code, land division applications are not subject to public notification.

This application is being notified as a result of the proposed retaining walls and fencing located to the northern side of Allotment 1002, rear of Allotments 8-10 and 14-23, and side of Lot 24 – as depicted on the attached plans. The retaining walls generally range in height from 200mm to 600mm, reaching a maximum height of 700mm (Allotment 1002). A 1.8m 'good neighbour' colorbond fence is proposed atop the retaining walls.

Accordingly, you are invited to provide comment on the proposed retaining walls and fencing.

APPLICANT

Rossdale Developments Unit Trust

APPLICATION NUMBER

23006923

NATURE OF DEVELOPMENT

Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m

VIEW THE PLANS AND HAVE YOUR SAY ON THE APPLICATION

www.plan.sa.gov.au/en/public_notices

MAKE A REPRESENTATION

Up until 11:59pm on the 14-04-2023


FOR MORE INFORMATION

CONTACT

City of Salisbury

PHONE

08 8406 8222

EMAIL

representations@salisbury.sa.gov.au

It is an offence to damage, destroy, obscure or remove this notice. Penalties apply.

Details of Representations

Application Summary

Application ID	23006923
Proposal	Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m - 20 Hissar Avenue, Salisbury North SA 5108 - Lot 82 Hissar Avenue, Salisbury North SA 5108 - Lot 279 Holstein Drive, Salisbury North SA 5108 - Lot 322 Holstein Drive, Salisbury North SA 5108
Location	20 HISSAR AV SALISBURY NORTH SA 5108, LOT 279 HOLSTEIN DR SALISBURY NORTH SA 5108, LOT 322 HOLSTEIN DR SALISBURY NORTH SA 5108

Representations

Representor 1 - Mervyn Taylor

Name	Mervyn Taylor
Address	9 HISSAR AVENUE SALISBURY NORTH SA, 5108 Australia
Submission Date	24/03/2023 09:53 AM
Submission Source	Post
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons	
I am concerned that allotments 33-34-35 will be too close to the walking trail around the lake walkway	

Attached Documents

23006923RepresentationMervynTaylor23March2023-5165009.pdf

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016



Applicant:	Rossdale Developments Unit Trust
Development Number:	23006923
Nature of Development:	Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road, Reserve Strip, retaining walls and fencing with combined height greater than 2.1m
Zone:	General Neighbourhood
Subject Land:	20 Hissar Av SALISBURY NORTH SA 5108 Lot 322 Holstein Dr SALISBURY NORTH SA 5108 Lot 279 Holstein Dr SALISBURY NORTH SA 5108
Contact Officer:	Chris Carrey
Phone Number:	8406 8222
Close Date:	Friday 14 th April 2023

My name*: <i>Mervyn Taylor</i>	My phone number: [REDACTED]
My postal address*: <i>9 HISSAR AVE SALISBURY NORTH 5108</i>	My email*:

* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input checked="" type="checkbox"/> I support the development with some concerns (detail below) <input type="checkbox"/> I oppose the development
-----------------	--

<p>The specific reasons I believe that planning consent should be granted/refused are:</p> <p><i>I AM CONCERNED THAT ALLOTMENT'S 33-34-35 WILL BE TOO CLOSE TO THE WALKING TRAIL AROUND THE LAKE WALKWAY 2/ WAY IS 2K OVER HISSAR AVE?</i></p>

[attach additional pages as needed]



Government of South Australia
Attorney-General's Department

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal.

Each person making a submission should indicate whether they wish to appear personally, or be represented by another party, in support of their submission. Please note that should you nominate to be heard in support of your representation, you will be required to attend a Council Assessment Panel meeting held at the Council offices, scheduled on the fourth Tuesday of each month at 6.30pm (unless otherwise advised).

I:	<input type="checkbox"/> wish to be heard in support of my submission*
	<input checked="" type="checkbox"/> do not wish to be heard in support of my submission
By:	<input type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: _____

**You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Signature: 

Date: 23-3-23

Return Address: PO Box 8, SALISBURY SA 5108 or

Email: representations@salisbury.sa.gov.au or

Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

Representations**Representor 2** - Nastasja Agerman

Name	Nastasja Agerman
Address	29 Swallowtail St MOUNT BARKER SA, 5251 Australia
Submission Date	30/03/2023 12:58 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development
Reasons How many trees are being cut down for this? What is being done to mitigate the impacts? Of course housing is important, but so is nature, this project seems to eliminate a lot of that and not make up for it.	

Attached Documents

Appendix 3

Applicant's Response to Representations

17-04-23



Public Notification

It is our understanding that two representations were received by the Salisbury Council. One from Mervyn Taylor and another from Nastasja Agerman. Please see our reply to both of these concerns:

Mervyn Taylor - I am concerned that allotments 33, 35 & 35 will be too close to the walking trail around the lake walkway.

The path will be slightly realigned to ensure the path is continuous and so that lots 33, 34 & 35 will not impact on the realigned path in anyway. The realigned path will be the same width/size and made from the same material as the exiting path.

Nastasja Agerman - How many trees are being cut down for this? What is being done to mitigate the impacts? Of course housing is important, but so is nature, this project seems to eliminate a lot of that and not make up for it.

It is proposed that 19 trees will be removed while 15 will be retained. To help to mitigate the impact it is proposed that 40 new trees will be planted throughout the Lake Windemere Reserve. These new trees will be watered and maintained over a 12 month period to ensure they become established and can flourish. An offset tree planting strategy has been submitted.

Yours sincerely,

Daniel French

0411 275 210

dfrench@rossdalthomes.com

.au

Appendix 4

Extract of Planning and Design Code

LOT 279 HOLSTEIN DR SALISBURY NORTH SA 5108**Address:**Click to view a detailed interactive [SALIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Zone**

General Neighbourhood

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)
 Affordable Housing
 Building Near Airfields
 Defence Aviation Area (All structures over 15 metres)
 Hazards (Flooding)
 Hazards (Flooding - General)
 Prescribed Wells Area
 Regulated and Significant Tree
 Stormwater Management
 Urban Tree Canopy
 Water Resources

Local Variation (TNV)

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Selected Development(s)

Land division

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection**Land division - Code Assessed - Performance Assessed****Part 2 - Zones and Sub Zones**

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.	DTS/DPF 1.1 Development comprises one or more of the following: <ul style="list-style-type: none"> (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Educational establishment (f) Office (g) Place of Worship (h) Pre-school (i) Recreation area (j) Residential flat building (k) Retirement facility (l) Shop (m) Student accommodation (n) Supported accommodation
Site Dimensions and Land Division	
PO 2.1 Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.	DTS/DPF 2.1 Development will not result in more than 1 dwelling on an existing allotment or Allotments/sites for residential purposes accord with the following:

Policy24		P&D Code (in effect) Version 2023.3 16/02/2023		
		Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
		Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
		Semi-detached dwelling	300m ²	9m
		Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
		Group dwelling	300m ² (average, including common areas)	15m (total)
		Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
PO 2.2	Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	DTS/DPF 2.2 Where the site of a dwelling does not comprise an entire allotment:		
		<ul style="list-style-type: none"> (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1 (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene: <ul style="list-style-type: none"> (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number. 		
PO 2.3	Land division results in sites that are accessible and suitable for their intended purpose.	DTS/DPF 2.3 Division of land satisfies (a), (b) or (c):		
		<ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an existing development authorisation under the Development Act 1993 or Planning, Development and Infrastructure Act 2016 where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments (c) satisfies all of the following: <ul style="list-style-type: none"> (i) No more than 5 additional allotments are created (ii) Each proposed allotment has a minimum site area of 300m² and frontage of 9m (iii) Each proposed allotment has a slope less than 12.5% (1-in-8) 		

Policy24	P&D Code (in effect) Version 2023.3 16/02/2023
	<ul style="list-style-type: none"> (iv) There are no regulated trees on or within 20m of the subject land, with the distance measured from the base of the trunk of the tree (or the nearest trunk of the tree) to the subject land (v) The division does not involve creation of a public road (vi) Vehicle access from a public road can be provided to all proposed allotments which satisfies Design in Urban Areas DTS/DPF 23.3, 23.4 and 23.6, and would be located wholly on one side of the allotment, or located no more than 1m from the side boundary alignment (vii) No allotments are in a battle-axe configuration and (viii) Each proposed allotment is of a size and dimension capable of containing a rectangle 9m in width and 15m in depth.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

Downloaded on 16/03/2023

Generated By Policy24

Page 4 of 14

Policy24	P&D Code (in effect) Version 2023.3 16/02/2023
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building 	<p>None specified.</p>

Policy24		P&D Code (in effect) Version 2023.3 16/02/2023
(e) temporary accommodation in an area affected by bushfire (f) tree damaging activity.		
6. Alteration of or addition to any development involving the following (or of any combination of any of the following): (a) community facility (b) educational establishment (c) pre-school.		Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.
7. Demolition.		Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development		
None specified.		
Placement of Notices - Exemptions for Restricted Development		
None specified.		

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Affordable Housing Incentives	
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.	DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development

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		affordable housing.	and Infrastructure (General) Regulations 2017 applies.

Hazards (Flooding) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Land division is limited to areas where the consequences to buildings and safety are low and can be readily managed or overcome.	DTS/DPF 1.1 None are applicable.
Site Earthworks	
PO 5.1 The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage.	DTS/DPF 5.1 None are applicable.
PO 5.2 Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling.	DTS/DPF 5.2 Filling for ancillary purposes: (a) does not exceed 300mm above existing ground level (b) is no more than 5m wide.
Access	
PO 6.1 Development does not occur on land:	DTS/DPF 6.1 None are applicable.

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(a) from which evacuation to areas not vulnerable to flood risk is not possible during a 1% AEP flood event (b) which cannot be accessed by emergency services vehicles or essential utility service vehicles during a 1% AEP flood event.			
PO 6.2 Access driveways and tracks to significant development (i.e. dwellings, places of work, etc.) consist of a safe, all-weather trafficable surface that is accessible during a 1% AEP flood event.		DTS/DPF 6.2 None are applicable.	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Land Division

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Land division: <ul style="list-style-type: none"> (a) creates allotments with the appropriate dimensions and shape for their intended use (b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure (c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features (d) facilitates solar access through allotment orientation (e) creates a compact urban form that supports active travel, walkability and the use of public transport (f) avoids areas of high natural hazard risk.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All land division	
Allotment configuration	
PO 1.1 Land division creates allotments suitable for their intended use.	DTS/DPF 1.1 Division of land satisfies (a) or (b): (a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.
PO 1.2 Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.	DTS/DPF 1.2 None are applicable.
Design and Layout	
PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.	DTS/DPF 2.1 None are applicable.
PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.	DTS/DPF 2.2 None are applicable.
PO 2.3 Land division maximises the number of allotments that face public open space and public streets.	DTS/DPF 2.3 None are applicable.
PO 2.4 Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.	DTS/DPF 2.4 None are applicable.
PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.	DTS/DPF 2.5 None are applicable.
PO 2.6 Land division results in watercourses being retained within	DTS/DPF 2.6 None are applicable.

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open space and development taking place on land not subject to flooding.			
PO 2.7	Land division results in legible street patterns connected to the surrounding street network.	DTS/DPF 2.7	None are applicable.
Roads and Access			
PO 3.1	Land division provides allotments with access to an all-weather public road.	DTS/DPF 3.1	None are applicable.
PO 3.2	Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	DTS/DPF 3.2	None are applicable.
PO 3.3	Land division does not impede access to publicly owned open space and/or recreation facilities.	DTS/DPF 3.3	None are applicable.
PO 3.4	Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	DTS/DPF 3.4	None are applicable.
PO 3.5	Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	DTS/DPF 3.5	None are applicable.
PO 3.6	Road reserves accommodate stormwater drainage and public utilities.	DTS/DPF 3.6	None are applicable.
PO 3.7	Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.	DTS/DPF 3.7	None are applicable.
PO 3.8	Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	DTS/DPF 3.8	None are applicable.
PO 3.9	Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.	DTS/DPF 3.9	None are applicable.
PO 3.10	Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.	DTS/DPF 3.10	None are applicable.

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Policy24		P&D Code (in effect) Version 2023.3 16/02/2023	
Infrastructure			
PO 4.1	Land division incorporates public utility services within road reserves or dedicated easements.	DTS/DPF 4.1	None are applicable.
PO 4.2	Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.	DTS/DPF 4.2	Each allotment can be connected to: (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.
PO 4.3	Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 4.3	Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.
PO 4.4	Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 4.4	None are applicable.
PO 4.5	Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.	DTS/DPF 4.5	None are applicable.
PO 4.6	Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape feature.	DTS/DPF 4.6	None are applicable.
Minor Land Division (Under 20 Allotments)			
Open Space			
PO 5.1	Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.	DTS/DPF 5.1	None are applicable.
Solar Orientation			
PO 6.1	Land division for residential purposes facilitates solar access through allotment orientation.	DTS/DPF 6.1	None are applicable.

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Policy24		P&D Code (in effect) Version 2023.3 16/02/2023	
Water Sensitive Design			
PO 7.1	Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 7.1	None are applicable.
PO 7.2	Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 7.2	None are applicable.
Battle-Axe Development			
PO 8.1	Battle-axe development appropriately responds to the existing neighbourhood context.	DTS/DPF 8.1	Allotments are not in the form of a battle-axe arrangement.
PO 8.2	Battle-axe development designed to allow safe and convenient movement.	DTS/DPF 8.2	The handle of a battle-axe development: (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m.
PO 8.3	Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 8.3	Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.
PO 8.4	Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 8.4	Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Major Land Division (20+ Allotments)			
Open Space			
PO 9.1	Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.	DTS/DPF 9.1	None are applicable.
PO 9.2	Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.	DTS/DPF 9.2	None are applicable.

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Policy24		P&D Code (in effect) Version 2023.3 16/02/2023	
PO 9.3	Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.	DTS/DPF 9.3	None are applicable.
Water Sensitive Design			
PO 10.1	Land division creating 20 or more residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 10.1	None are applicable.
PO 10.2	Land division creating 20 or more non-residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 10.2	None are applicable.
PO 10.3	Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 10.3	None are applicable.
Solar Orientation			
PO 11.1	Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.	DTS/DPF 11.1	None are applicable.

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**Property Zoning Details****Zone**

General Neighbourhood

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)
 Affordable Housing
 Building Near Airfields
 Defence Aviation Area (All structures over 15 metres)
 Hazards (Flooding)
 Hazards (Flooding - General)
 Prescribed Wells Area
 Regulated and Significant Tree
 Stormwater Management
 Urban Tree Canopy
 Water Resources

Local Variation (TNV)

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Selected Development(s)

Retaining wall

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Retaining wall - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

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General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

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<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building 	<p>None specified.</p>

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(e) temporary accommodation in an area affected by bushfire (f) tree damaging activity.		
6. Alteration of or addition to any development involving the following (or of any combination of any of the following): (a) community facility (b) educational establishment (c) pre-school.		Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.
7. Demolition.		Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development		
None specified.		
Placement of Notices - Exemptions for Restricted Development		
None specified.		

Part 3 - Overlays

Hazards (Flooding) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
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Policy24		P&D Code (in effect) Version 2023.3 16/02/2023	
Site Earthworks			
PO 5.1		DTS/DPF 5.1	
The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage.		None are applicable.	
PO 5.2		DTS/DPF 5.2	
Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling.		Filling for ancillary purposes:	
		(a) does not exceed 300mm above existing ground level	
		(b) is no more than 5m wide.	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Water Resources Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1	DTS/DPF 1.1

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Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.		None are applicable.	
PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to: <ul style="list-style-type: none"> (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse. 		DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.	
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.		DTS/DPF 1.7 None are applicable.	
PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.		DTS/DPF 1.8 None are applicable.	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:

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	<ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.

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Property Zoning Details

Zone

General Neighbourhood

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)
Affordable Housing
Building Near Airfields
Defence Aviation Area (All structures over 15 metres)
Hazards (Flooding)
Hazards (Flooding - General)
Prescribed Wells Area
Regulated and Significant Tree
Stormwater Management
Urban Tree Canopy
Water Resources

Local Variation (TNV)

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Selected Development(s)

Fence

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Fence - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.	Except development involving any of the following: 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following):	Except development that:

Policy24	P&D Code (in effect) Version 2023.3 16/02/2023
<ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>

Policy24		P&D Code (in effect) Version 2023.3 16/02/2023	
6. Alteration of or addition to any development involving the following (or of any combination of any of the following): (a) community facility (b) educational establishment (c) pre-school.		Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.	
7. Demolition.		Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.	
Placement of Notices - Exemptions for Performance Assessed Development			
None specified.			
Placement of Notices - Exemptions for Restricted Development			
None specified.			

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1	DTS/DPF 1.1

Policy24	P&D Code (in effect) Version 2023.3 16/02/2023
Building height does not pose a hazard to the operation of a certified or registered aerodrome.	Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Defence Aviation Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of	DTS/DPF 1.1 Building height does not exceed the relevant height specified by

Policy24	P&D Code (in effect) Version 2023.3 16/02/2023
Defence Aviation Areas.	the Defence Aviation Area Overlay.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 3.6 Fences do not unreasonably impede floodwaters.	DTS/DPF 3.6 A post and wire fence (other than a chain mesh fence).

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Water Resources Overlay**Assessment Provisions (AP)**

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.4 Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.	DTS/DPF 1.4 None are applicable.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is: (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors

Policy24		P&D Code (in effect) Version 2023.3 16/02/2023
	(d)	sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.

ITEM	8.1.3
	COUNCIL ASSESSMENT PANEL
DATE	26 April 2023
APPLICATION NO.	22038410
APPLICANT	Rossdale Homes
PROPOSAL	Twenty-Eight (28) Single Storey Dwellings and Removal of Three (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees
LOCATION	20 Hissar Avenue, Salisbury North SA 5108 Lot 82 Hissar Avenue, Salisbury North SA 5108 Lot 279 Holstein Drive, Salisbury North SA 5108 Lot 322 Holstein Drive, Salisbury North SA 5108 Proposed Allotments 8-35 in Land Division 22036925 /361/D565/22
CERTIFICATE OF TITLE	CT-5133/607; CT-3265/15; CT-5483/909; CT-5740/195
AUTHOR	Kieron Barnes, Planning Consultant, City Development

1. DEVELOPMENT APPLICATION DETAILS

Zone/Policy Area	General Neighbourhood
Application Type	Performance Assessed
Public Notification	N/A
Referrals - Statutory	N/A
Referrals – Internal	Development Engineer Parks and Open Space
Planning and Design Code Version	2023.3
Assessing Officer	Kieron Barnes – Planning Consultant (Planning Studio)
Recommendation	Grant Planning Consent subject to Reserved Matters and Conditions

2. REPORT CONTENTS

This Report provides an assessment of the proposed development against the relevant provisions of the Planning and Design Code. This assessment has been based on a review of the following plans and documents which are appended to this report:

Attachment 1:	Proposal Plans and Supporting Documentation
Attachment 2:	Extract of Planning and Design Code

3. EXECUTIVE SUMMARY

The proposed development seeks to construct 28 single-storey detached dwellings which will front a proposed public road (in the form of a cul-de-sac) that forms an extension of Horwood Road. In addition, the proposed development seeks the removal of a number of Regulated and Significant Trees which are currently located on the subject site and which will be impacted by the development.

The proposed development is proceeding in accordance with a non-statutory Masterplan that has been endorsed by the City of Salisbury for the Lake Windermere Reserve and reflects the formal partnership arrangement between the City of Salisbury and Rossdale Developments.

The applicant (Rossdale Developments) has lodged four separate Development Applications. This includes two land division applications and two 'built-form' applications. Combined, these applications will establish 35 residential allotments over the subject site (28 Torrens Title allotments and 7 Community Title allotments) as well as 35 single-storey dwellings. The various applications also propose the creation of a public and private road as well as associated infrastructure to service the 35 dwellings.

Located within the General Neighbourhood Zone, the subject land includes the following four allotments which comprise Lake Windermere Reserve:

- 20 Hissar Avenue, Salisbury North;
- Lot 82 Hissar Avenue, Salisbury North;
- Lot 322 Holstein Drive, Salisbury North; and
- Lot 279 Holstein Drive, Salisbury North

Detached dwellings and tree damaging activity are excluded from notification in the General Neighbourhood Zone. Also, the proposed development did not trigger any statutory referrals.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in the construction of 28 single-storey detached dwellings which will complement the existing low-density and low-rise character of the locality and which will not create any adverse impacts on existing development; and
- Represents an orderly expansion of the existing low-density residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Reserved Matters and Conditions.

4. BACKGROUND

Located within Salisbury North, Lake Windermere Reserve (the 'Reserve') is owned and managed by the City of Salisbury (the 'Council'). The heavily vegetated Reserve provides an important recreational and environmental asset for the surrounding residential area.

For some time now, the Council has been working on the development and implementation of a Masterplan for the Reserve (see Figure 1). The Masterplan was initiated following the 2007 closure and eventual demolition of the Salisbury North Community Centre which was previously located in the north-eastern corner of the Reserve fronting Hissar Avenue.

Figure 1: Lake Windermere Reserve Masterplan (Source: City of Salisbury)



A key element of the Masterplan is the establishment of a new residential development on the portion of the Reserve on which the Community Centre was formerly located as well as along a portion of the northern boundary of the Reserve (as an extension of Horwood Road).

Accordingly, the Council has entered into a partnership arrangement with Rossdale Developments to deliver the residential component of the Masterplan. It is understood that the sale of a portion of the land for residential development will assist to fund various upgrades and improvements to the Reserve including flood mitigation works. Importantly, the Masterplan proposes the planting of a substantial number of additional trees within the Reserve – particularly in the north-western corner. These works, along with the proposed residential development, are illustrated on the endorsed Masterplan for the Reserve.

Given that the Reserve is classified as Community Land, a revocation process was required to enable a portion to be sold and developed for housing. This process, which was managed by the Council, followed extensive consultation with the community over a number of years.

Following the revocation process, a series of Development Applications have been lodged by Rossdale Developments which, ultimately, will establish 35 single-storey dwellings with associated roads and infrastructure in the north-eastern corner of the Reserve. The overall proposed development is illustrated in Figure 2 below.

Figure 2: Overall residential development



The overall residential development illustrated above will proceed via four separate development Applications as per the table on the following page.

DA 23006923	Boundary realignment of Reserve and Creation of Twenty-Nine (29) Torrens Title Allotments for Residential Purposes, Public Road and Reserve Strip, retaining walls and fencing with combined height greater than 2.1m
DA 22036926	Community title – Creation of Seven (7) Allotments and Private Driveway (Proposed Lot 1002 in Land Division 22036925)
DA 22038410	Twenty-Eight (28) Single Storey Dwellings to be delivered in stages and Removal of (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees
DA 22038407	Seven (7) Single Storey Dwellings and Private Driveway

While the proposed development will proceed via four separate Development Applications, the applications are closely integrated and are dependent on one another. For this reason, a holistic assessment approach has been adopted which is reflected in the three reports which are present to the CAP for consideration.

Given the Reserve is owned and managed by the Council, the Minister for Planning was requested to ‘call-in’ the development application to be assessed by the State Planning Commission rather than the Council’s Assessment Manager. The ‘call-in’ was requested to avoid a perceived conflict of interest. However, the Minister for Planning’s Delegate declined the ‘call-in’ request and noted that the Council could appoint the Council Assessment Panel (CAP), as an independent body, to assess the proposal, thereby removing the perceived conflict of interest.

As a consequence of the above, the Assessment Manager, as the relevant authority, has delegated to the Salisbury Council Assessment Panel the power pursuant to s102(1)(a) of the *Planning, Development & Infrastructure Act 2016* to assess development application number 22038410 for Twenty-Eight (28) Single Storey Dwellings to be delivered in stages and Removal of (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees against the relevant provisions of the Planning Rules, & to grant or refuse planning consent; together with the power pursuant to s127 of the Act to impose any conditions it thinks fit to impose in the event that it grants planning consent.

Further to the above and, consistent with the Council’s Policy in relation to development undertaken by the Council, an independent planning consultant has been engaged to assess the application and prepare an assessment report for consideration by the CAP.

5. SUBJECT SITE

The subject land comprises four parcels of land as follows:

- 20 Hissar Avenue (Allotment 21), Salisbury North
- Lot 82 Hissar Avenue, Salisbury North
- Lot 322 Holstein Drive, Salisbury North
- Lot 279 Holstein Drive, Salisbury North

Combined, these allotments form the Lake Windermere Reserve (noting that 20 Hissar Avenue previously accommodated the Salisbury North Community Centre which has now been demolished).

The Reserve is approximately 6 hectares in area and is surrounded on three sides by Holstein Drive, Swinstead Crescent, Ferguson Street and Hissar Avenue. The northern side of the Reserve borders the Lake Windermere Children’s Centre (pre-school) and Lake Windermere Primary School. Horwood Road and a number of dwellings adjoin the north-eastern corner of the Reserve.

The Reserve features a substantial amount of mature vegetation which is scattered around a central lake. A series of walking trails and recreational facilities (in the form of a playground) are also located in the Reserve.

The subject site (i.e. the portion of the subject land on which the development will be located), is approximately 1.35 hectares in area and is located in the north-eastern corner of the Reserve adjoining the existing residential area.

Apart from a number of landscaped mounds of earth, the site generally slopes down towards the lake in the centre of the Reserve. Portions of the subject land and the subject site fall within the Hazards (Flooding) and Hazards (Flooding General) Overlays. However, it is understood that the Council has recently undertaken flood mitigation works with a specific focus on the Reserve.

A four metre wide easement in favour of the Minister for Infrastructure is noted on Certificate of Title Volume 5483 Folio 909. This easement runs along the northern boundary of the Reserve (within Allotment 322). The portion of the easement which is within the subject site, will be contained within a private road (Common Property) as part of the separate Community Title land division. Therefore, the existing easement will be retained as part of the overall residential development which will ensure that suitable access is maintained.

Site photos are provided on the following page.

Photo 1.
*View
North-
West
along
Horwood
Road*



Photo 2.
Cul-de-sac at north-western end of Horwood Road, with School on the right



Photo 3.
View into the subject site from the Horwood Road cul-de-sac (No. 62 Horwood Road on left)



Photo 4.
*Within the
subject site,
looking
south-east
towards
Hissar
Avenue*



Photo 5.
*Within the
site,
generally
looking
north
towards the
proposed
community
title
development*



Photo 6.
*Looking
south-west
towards
Lake
Windermere
(outlook
from the
community
titled
development)*



Photo 7.
*Looking
south-east
along the
School fence
line
(community
titled
development
area on right
hand side)*



Photo 8:
Looking north-east into the development site, standing close to the existing playground



Photo 9:
Looking north into the site from Hissar Avenue (in front of No. 17)



Photo 10:
*Looking
north into
the site from
Hissar
Avenue (in
front of No.
23)*



Photo 11:
*Within the
site, looking
north-west.
Rear of
abutting
Horwood
Road
properties on
right hand
side*



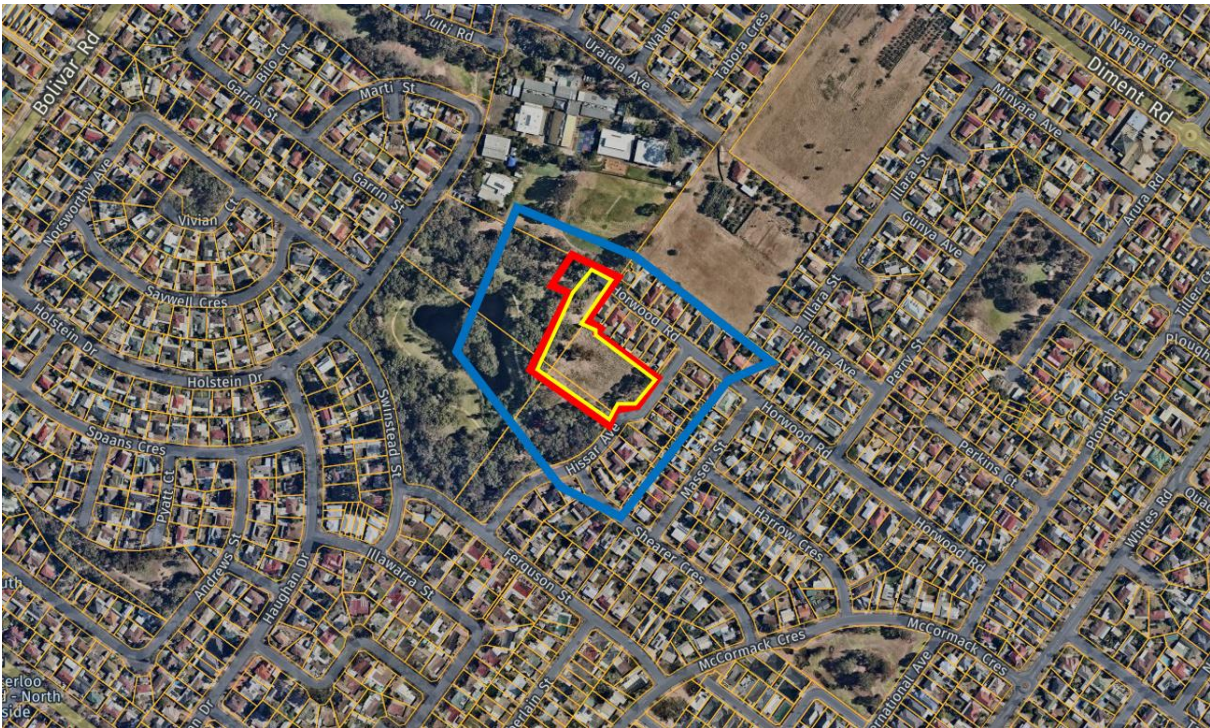
6. LOCALITY

The locality is generally defined as comprising the Reserve, the adjoining Lake Windermere School and Children’s Centre as well as the adjacent residential development to the north-east and east fronting Horwood Road and Hissar Avenue.

Apart from the School and the Reserve, the locality is generally residential in character and nature reflecting the land uses sought in the General Neighbourhood Zone. Housing in the locality predominantly comprises single-storey detached dwellings on allotments ranging from approximately 400m² to approximately 800m² in area. Dwellings are typically setback approximately 6 to 8 metres from the primary frontage and generally feature generous rear yards which often contain domestic outbuildings.



A locality plan and contextual plan are provided below.

Locality Plan - Aerial





Legend (Source: NearMap)	
	Site boundary
	Development Site
	Locality boundary

Contextual Plan**Legend (Source: SAPPA)**

	Site boundary
	Development Site



Legend (Source: Nearmap)	
	Site boundary
	Development Site

7. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed development seeks the construction of 28 single-storey detached dwellings which will be located on individual Torrens Title allotments created via DA 23006923. Each allotment will front a public road (also created via DA 23006923) and will be serviced by water, power and sewer infrastructure which will be located within the road reserve.

The sites for the dwellings will generally be rectangular in shape and will range in area from 246m² to 472m² resulting in an average site area of 286m². Frontages will vary from a minimum of 8.36 metres (Lot 22) to a maximum of 16.40m (Lot 24).

Bulk earthworks and retaining walls (where required) will be undertaken as part of the land division application. Similarly, boundary fencing will be constructed as part of the land division application.

As mentioned, the detached dwellings will be single-storey in height and will be a mixture of three bedrooms (17 dwellings) and 4 bedrooms (11 dwellings). The dwellings will feature an open plan family, meals and kitchen area as well laundries, bathrooms and separate ensuites attached to the main bedroom.

Each dwelling will be provided with either a single garage (22 dwellings) or a double garage (6 dwellings) under the main roof. In addition, parking for one or two vehicles (depending on the size of the garage) will be provided in front of the garage.

Apart from Lot 13, the dwellings will be sited in pairs with their garages abutting one another thereby giving the appearance of semi-detached dwellings when viewed from the public road.

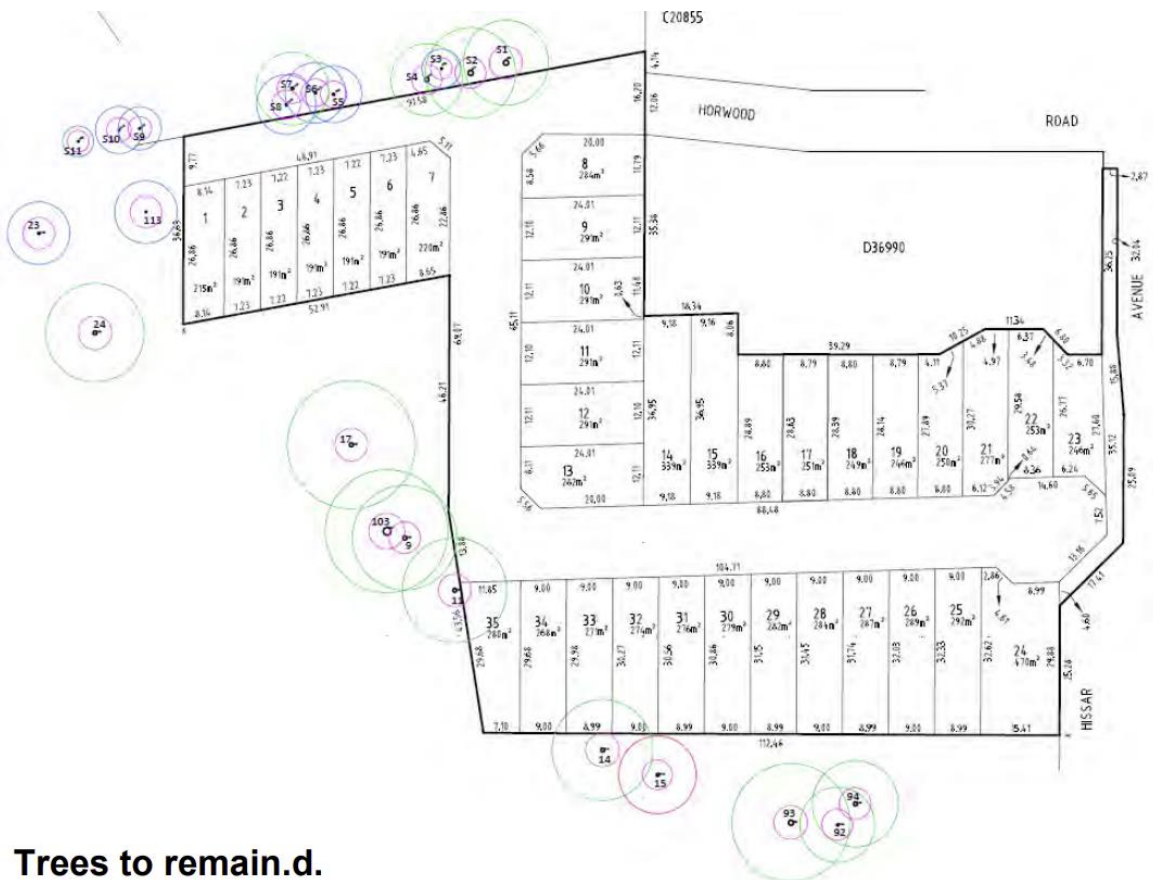
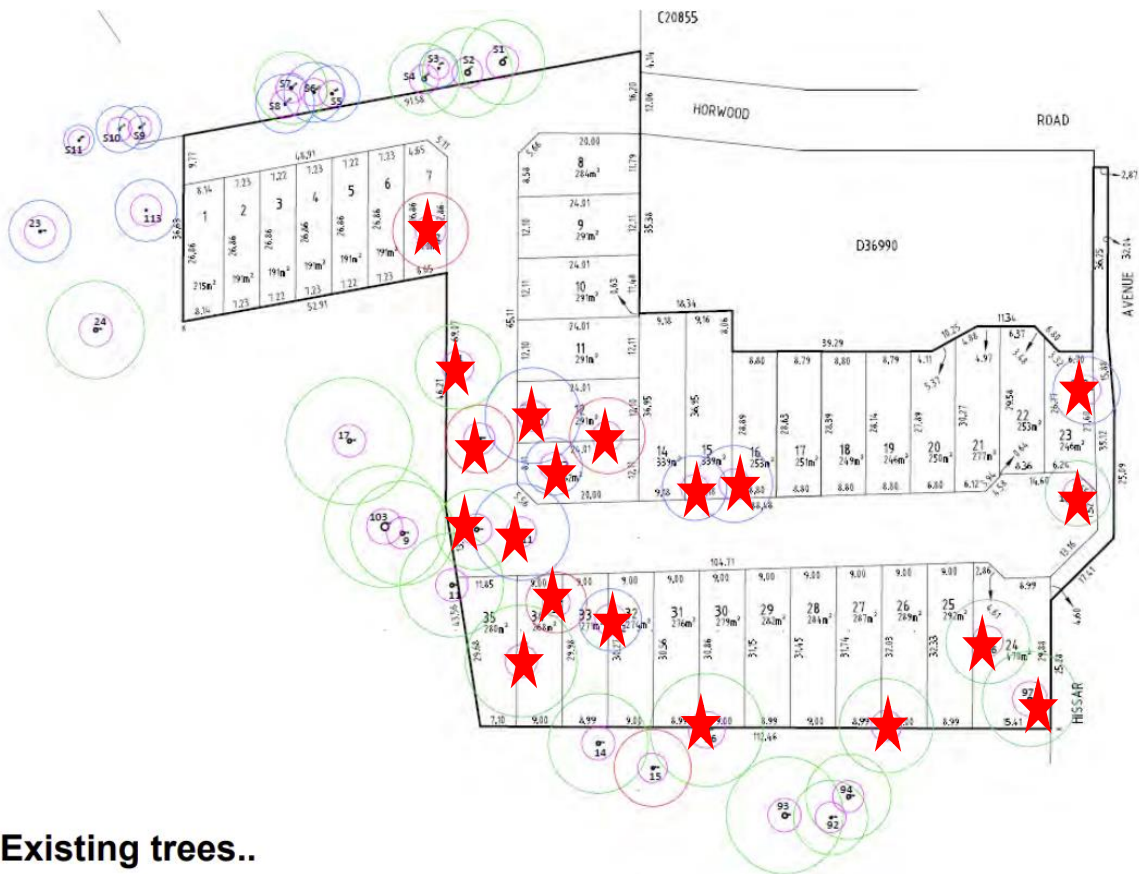
Aside from the garages the walls of the dwellings will generally be setback a minimum of 1 metre (approximately) from the side boundaries. Rear setbacks vary considerably based on the design and dimensions of the associated allotment. Similarly, front setbacks vary considerably but are generally in the order of 3.5 to 5 metres. As mentioned, the garages are setback a sufficient distance (at least 5.5 metres) to provide an additional uncovered parking space.

Private open space, in the form of an undercover alfresco area as well as soft landscaping, is generally provided at the rear of the dwellings. The plans also indicate that a small tree (Ornamental Pear Tree) will be planted in the front yard of each dwelling.

On average, the dwellings achieve a site coverage of 55.75% with sites ranging from a minimum site coverage of 39% (Lot 24) to a maximum of 67% (Lot 13). Similarly, the dwellings achieve an average area of private open space of 66m² which varies from a minimum of 24m² (Lot 13) to a maximum of 208m² (Lot 24).

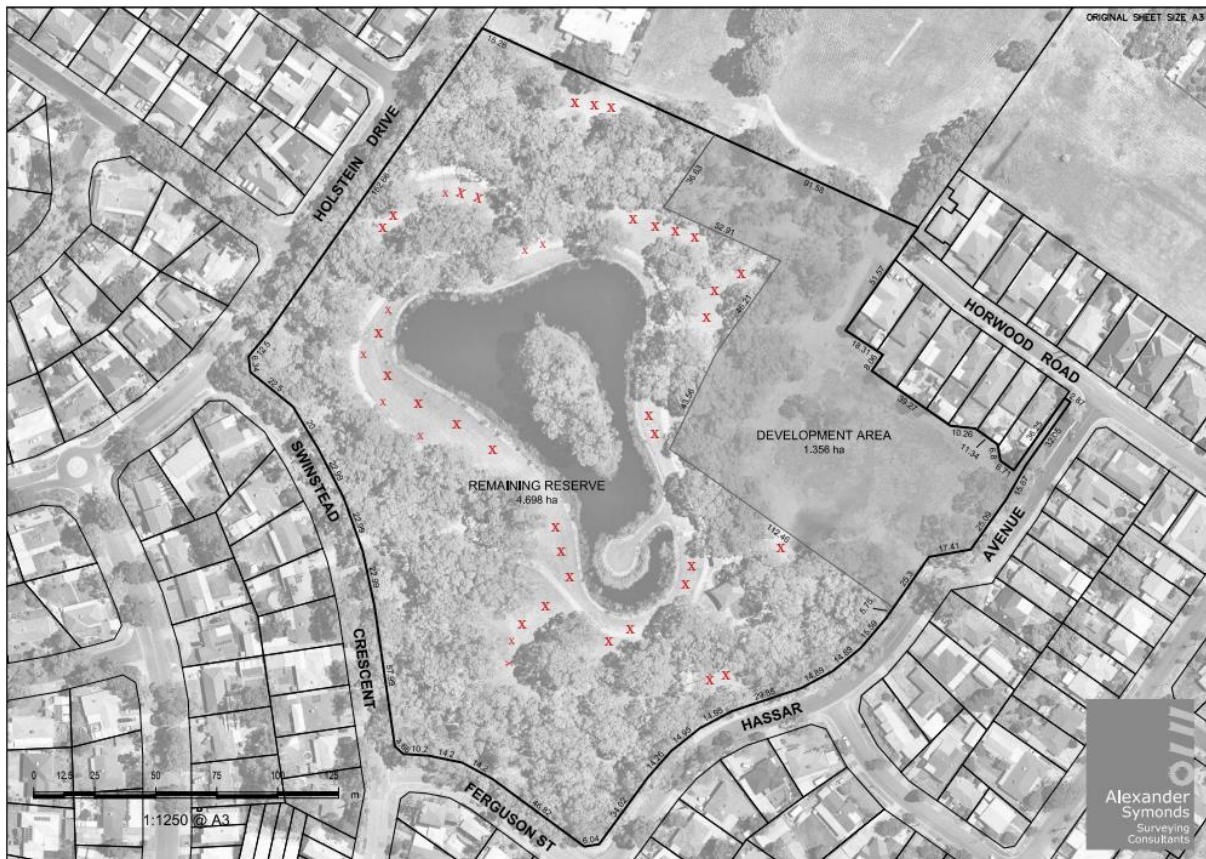
The dwellings feature a contemporary, simple design with hipped colorbond roofs, rendered or brick face masonry walls and panel lift garage doors.

The proposed development also involves the removal of a number of Regulated and Significant Trees. The Tree Assessment Report indicates a total of 31 Regulated and Significant Trees were identified and surveyed within the defined project area. Of these 31 trees, 19 are proposed for removal to facilitate the proposed development (see figures below).



In summary, the proposed development involves the removal of Three (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Tree. The applicant has indicated that a number of replacement trees (to offset the loss of the Regulated and Significant Trees) will be planted in the adjoining Lake Windemere Reserve. More specifically, the applicant has indicated that:

- 40 new trees (300mm pots) to be planted within the Lake Windemere reserve.
- The species of these tree to be confirmed by council.
- Location plan attached (*over page*), this is indicative only and is to be confirmed by council on site.
- Trees to be planted at the same time as the street trees within the development site.
- Trees to be maintained and watered for a period of 12 months after planting.



A copy of the proposal plans and supporting documentation are contained in Attachment 1.

8. CLASSIFICATION

Detached dwellings and tree damaging activity are Performance Assessed developments in this portion of the General Neighbourhood Zone. Therefore, the proposed development must be assessed against the relevant provisions of the Planning and Design Code.

9. PUBLIC NOTIFICATION

Clause 5 of Table 5 of the General Neighbourhood Zone excludes tree damaging activity from notification. In addition, Clause 3 of Table 5 excludes dwellings from notification except under certain circumstances. These circumstances include buildings with a height greater than 2 building levels and 9 metres or where a wall that exceeds 11.5 metres in length or 3 metres in height is located on an allotment boundary. Given that the proposed dwellings are only 1 building level and do not propose walls on an (external) allotment boundary, the proposed development did not require notification.

10. REFERRALS – STATUTORY

The proposed development did not trigger any statutory referrals.

11. REFERRALS – INTERNAL

Department	Summarised Comment
<i>Development Engineer</i>	<i>The application was referred to Council's Development Engineer to review the civil outcomes of the proposed development. Following receipt of additional information and amendment to the overall scheme, Council's Engineer has advised the proposal is suitable from a civil, drainage and flood management perspective – subject to provision of detailed design information. Detailed design information will form part of a suite of Council requirements, to be required at the 'land division consent' stage. Notwithstanding, a Reserved Matter is recommended to ensure detailed civil information is provided prior to issue of Development Approval.</i>
<i>Parks and Open Space Assets</i>	<i>The application was referred to Council's Parks and Open Space Assets Section, to review impacts of the proposal with respect to trees and landscape within the Reserve, and pedestrian connectivity to and from the site. The Parks and Open Space team have no objection to the proposal, and will liaise with the Applicant during the detailed design phase of the concurrent land division application, including offset tree planting within the Reserve, street tree planting within the new road, interface between the development site and Reserve, and pedestrian connections to Hissar Avenue, Horwood Road and the Reserve.</i>

12. ASSESSMENT

Pursuant to Section 107(2)(c) of the *Planning, Development and Infrastructure Act*, it is recommended that the Panel determine that the proposed development is not seriously at variance with the Planning and Design Code. The following reasons are given in support of this recommendation:

- a) The proposed development involves the construction of 28 low-density and low-rise dwellings which are envisaged forms of development in the General Neighbourhood Zone; and
- b) The proposed development will not create an adverse impact on the amenity of locality (noting that the proposed single-storey detached dwellings will complement the existing residential character of the locality).

Assessment

A detailed assessment of the application against the relevant provisions of the Planning and Design Code is outlined under a series of headings below. Further, a Policy Enquiry containing the relevant provisions of the Planning and Design Code relating to the proposed development on the subject land, is contained in Attachment 2.

Overlays

A summary of the proposed development's compliance with the relevant Overlays affecting the subject land is provided in the table below.

Overlay	Assessment
Affordable Housing	Not addressed by the applicant – while the proposed development comprises more than 20 dwellings, none of these dwellings have been designated for affordable housing.
Airport Building Heights (Regulated) (All structures over 45 metres)	Satisfies – the dwellings will not exceed 45 metres in height.
Building Near Airfields	Satisfies – the development will not impact on the operational and safety requirements of an airfield.
Defence Aviation Area (All structures over 15 metres)	Satisfies – the dwellings will not exceed 15 metres in height.
Hazards (Flooding)	Satisfies – the proposed earthworks and retaining walls have addressed as part of the land division application and have been designed to ensure that the dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Hazards (Flooding - General)	Satisfies – the proposed earthworks and retaining walls have addressed as part of the land division application and have been designed to ensure that the dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Prescribed Wells Area	Not applicable
Regulated and Significant Tree	See detailed discussion below.
Stormwater Management	Satisfies – the development will proceed in accordance with an overarching stormwater management plan including Water Sensitive Urban Design techniques.
Urban Tree Canopy	Satisfies – street trees will be planted along

In relation to DTS/DTF 2.1, it is noted that the associated land division application will create sites suitable for detached dwellings. It is further noted that DTS/DPF 2.1 seeks a minimum site area of 300m² and a minimum frontage of 9 metres for detached dwellings. As noted previously in this report, the proposed site areas vary from 246m² to 472m² resulting in an average site area of 286m². Frontages will vary from a minimum of 8.36 metres (Lot 22) to a maximum of 16.40m (Lot 24).

While some of the proposed sites will fall short of the desired 300m² for detached dwellings, the average site area of 286m² is only marginally less than sought by DTS/DPF 2.1. Also, it is noted that the majority of dwellings will abut one another with garage walls located along a common boundary. In this way, the dwellings will give the appearance of 'detached dwellings in a terrace arrangement' which, according to DTS/DPF 2.1 would allow the application of a smaller allotment size (250m²) and a smaller frontage (7 metres).

It is also noted that the proposed development adjoins a valuable substantial area of public open space (Lake Windermere Reserve) and is within close walking distance of a pre-school and primary school. On this basis, the proposed development satisfies PO 2.1's desire for higher residential densities close to public open space. In saying this, the proposed dwellings will remain compatible with the low-rise and predominantly low-density neighbourhood.

Design, Appearance and Amenity

The proposed dwellings, along with the associated land division, will establish an orderly and coordinated extension of the existing residential area to the east of the Reserve. The dwellings will be located on appropriately sized and dimensioned allotments which will be serviced by essential infrastructure while also providing footpaths and street trees to improve the general amenity of the area. While the allotments will be slightly smaller than the existing pattern of residential development in the area, the associated dwellings will be designed and sited in accordance with their associated allotment. In this way, the proposed development will complement the existing character of the locality while also taking advantage of the attractive outlook provided by the adjoining Lake Windermere Reserve.

The proposed development has a clear alignment with the broad intent of the General Neighbourhood Zone. A general assessment of the dwellings against the relevant provisions of the Planning and Design Code demonstrate the proposal's compliance with the Planning and Design Code, as summarised below:

- The majority of dwellings achieve a site coverage of less than 60% (as sought by DTS/DPF 3.1 of the Zone) and the dwellings that slightly exceed this guideline satisfy PO 3.1 of the Zone by providing sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation;
- The heights of the dwellings will meet DTS/DPF 4.1 of the Zone;
- The dwellings will be setback a sufficient distance from the primary frontage to contribute to the emerging pattern of street setbacks in the streetscape (as sought by PO 5.1 of the Zone) while also providing sufficient space for uncovered, off-street parking;
- Boundary walls (in the form of abutting garages) are limited in height and length and will not cause any visual or overshadowing impacts on adjoining properties (as sought by PO 7.1 of the Zone);

- The side and rear setbacks of the dwellings are satisfactory, and where they don't meet the quantitative guideline (as expressed in DTS/DPF 8.1 and 9.1 of the Zone), they do meet the qualitative provisions which seek appropriate separation between buildings to contribute to the suburban character, to allow access to natural light and ventilation and to provide appropriate space for private open space and landscaping;
- While some dwellings will fall slightly short of the quantitative Private Open Space standard expressed in Design in Urban Areas Table 1 – Private Open Space, the overall development will achieve an average of 66m² of private open space per dwelling. Also, each dwelling is provided with suitable sized areas of usable private open space to meet the needs of occupants which is positioned to provide convenient access from internal living areas (as sought by POs 18.1, 21.1 and 21.2 of the Design in Urban Areas General Development Policies);
- Each dwelling will incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape while also incorporating entry doors within street frontages to address the street and provide a legible entry point for visitors (as sought by POs 17.1 and 17.2 of the Design in Urban Areas General Development Policies);
- The garages will not be in front of the building line of the dwelling and will be setback a minimum of 5.5 metres from the primary frontage thereby ensuring that they do not detract from the streetscape or appearance of the dwellings (as sought by POs 20.1 of the Design in Urban Areas General Development Policies);
- Each dwelling will be provided with a suitable amount of landscaping including a small tree and lawn to assist with heat reduction and enhance the appearance of land and streetscapes (as sought by PO 22.1 of the Design in Urban Areas General Development Policies);
- Appropriate car parking, access and maneuverability will be provided for each dwelling in terms of the garages, uncovered off-street parking spaces as well as driveways and access points (as sought by POs 23.1 and 23.6 of the Design in Urban Areas General Development Policies); and
- Appropriate storage areas for waste bins will be provided for each dwelling (as sought by PO 24.1 of the Design in Urban Areas General Development Policies).

Tree Damaging Activity

The Regulated and Significant Tree Overlay provides the following policy framework in relation to the assessment of proposed developments which involve tree-damaging activity:

DO 1 Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

PO 1.1 Regulated trees are retained where they:

- (a) make an important visual contribution to local character and amenity
- (b) are indigenous to the local area and listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species
- (c) and / or
- (d) provide an important habitat for native fauna.

PO 1.2 Significant trees are retained where they:

- (a) make an important contribution to the character or amenity of the local area*
- (b) are indigenous to the local area and are listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species*
- (c) represent an important habitat for native fauna*
- (d) are part of a wildlife corridor of a remnant area of native vegetation*
- (e) are important to the maintenance of biodiversity in the local environment and / or*
- (f) form a notable visual element to the landscape of the local area.*

PO 1.4 A tree-damaging activity in connection with other development satisfies all the following:

- (a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible*
- (b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.*

These provisions have been reviewed and considered in the Tree Impact Assessment Report prepared by Martin Ely. In summary, the Tree Impact Assessment Report notes that:

There are 26 trees with a trunk circumference between 1.0 and 2.0m and qualify as Regulated Trees and there are 5 trees with a trunk circumference of 3m or greater and qualify as Significant Trees.

The majority of trees on site exhibit average to good health and vigour. Two trees could be considered for removal on the basis of poor health (Trees 12 and 22). These trees exhibit crown dieback or diseases to the trunk and are considered to have a relatively short life expectancy.

The majority of trees on site have average to good general structure. Five trees could be considered for removal on the basis of poor structure (Trees 4,7,12,15 and 22). These trees exhibit a history of branch failure or are multi-stemmed trees with bark inclusions in the base.

18 of the larger locally indigenous River Red Gums that qualify as regulated or significant trees and that do not pose an elevated risk to the users of the site were given a high retention rating value in the original survey. This is in recognition of the importance of their ecological and environmental benefits over and above all other species surveyed. These trees have a higher habitat value, well over and above Australian native and exotic trees. Every effort should be made to preserve these trees and to seek alternative design options to achieve this.

8 trees were identified as having medium retention value. These are other native in acceptable condition that they should be retained where possible. None of these trees have been specifically recommended for removal, and should only be removed where no alternative exists.

5 trees have been identified as having a low retention value (trees 4, 7, 12, 15 and 22). These are native trees with poor structure or reduced vigour. These trees could be considered for removal on the basis of risk or short life expectancy.

A total of 19 trees are proposed for removal. Five of these are located on the footprint of the proposed roadway and would not be viable under the current design. Fourteen trees require removal as they are located on the footprints of the proposed dwellings, or will be impacted by the proposed bulk earthworks.

Of the 19 Regulated and Significant Trees that are proposed to be removed, nine have been classed as having a high retention value. However, it is noted that the proposed residential development has been designed in accordance with an endorsed Masterplan which has sought to protect as many trees as possible. Also, it is apparent that it would not be possible to retain all (or the majority) of the Regulated and Significant Trees while still achieving a residential development outcome of the scale proposed on the site.

The Applicant did initially explore retention of additional trees within and close to the rear of allotments 24-31. However, due to necessary civil works and setting of individual dwelling floor levels, to mitigate potential flooding from Lake Windermere, safe and practical retention of these trees was deemed unsuitable while supporting the overall development outcome.

Given that the proposed residential development is closely aligned with the General Neighbourhood Zone and given that the overall development (and associated Masterplan) has attempted to retain as many trees as possible, the proposed removal of 19 Regulated and Significant Trees is considered acceptable. Also, it is noted that the applicant will plant 40 new trees within the adjoining Reserve. These trees, along with the proposed street trees and trees within the front yards of each dwelling, will offset the loss of the Regulated and Significant Trees.

13. CONCLUSION

The City of Salisbury has entered into a partnership arrangement with Rossdale Developments to establish a residential development in the north-eastern corner of Lake Windermere Reserve. The proposed residential development is consistent with the Masterplan that has been endorsed for the Lake Windermere Reserve and which was prepared with the assistance of the local community over a number of years.

The proposed development seeks to construct 28 single-storey detached dwellings which will front a public road (cul-de-sac), which forms an extension of Horwood Road.

The proposed dwellings are of a form and design that is anticipated in the General Neighborhood Zone. Also, the development will ensure that the remaining portion of Lake Windermere Reserve will continue to function as a valuable recreational and open space facility for the local and broader community.

The design and siting of the proposed dwellings aligns with the provisions of the Planning and Design Code. Also, the dwellings will provide suitable levels of amenity for the future residents while also complementing the existing low-density character of the locality. Further, the removal of the Regulated and Significant Trees is considered acceptable given the circumstances of the subject land and the proposed offset planting in the adjoining Lake Windermere Reserve.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in the construction of 28 single-storey detached dwellings which will complement the existing low-density and low-rise character of the locality and which will not create any adverse impacts on existing development; and
- Represents an orderly expansion of the existing low-density residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Reserved Matters and Conditions.

14. STAFF RECOMMENDATION

That the Council Assessment Panel resolve that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to Section 33 of the *Development Act 1993*, Development Plan Consent is **GRANTED** to application number 22038410 for Twenty-Eight (28) Single Storey Dwellings and Removal of Three (3) Significant and Sixteen (16) Regulated Trees, and Retention of Two (2) Significant and Ten (10) Regulated Trees in accordance with the plans and details submitted with the application and subject to the following Reserved Matters and conditions:

Reserved Matters:

The following matter/s shall be submitted for further assessment and approval by the Team Leader Planning, as delegate of the Council Assessment Panel, as Reserved Matters under Section 33(3) of the Development Act 1993:

1. Civil and Siteworks Plan, prepared by a qualified and experienced engineer, for all civil and stormwater works, which shall address all of the following:
 - a) Finished floor levels for all buildings and hardstand surfaces; and
 - b) Cut/fill details; and
 - c) Retaining walls, kerbing or ramps, their design and grades; and
 - d) Pavement design details and gradients; and
 - e) Car parking dimensions, aisle widths, circulation movements and associated pavement markings and signage; and

- f) Stormwater management arrangements, including accompanying design calculations, which consider the minor storm (18.3% AEP) and major storm (1% AEP) events; and
- g) Water sensitive urban design measures; and
- h) Surface water treatment.

Planning Consent Conditions

1. The proposal shall be developed in accordance with the details and Council stamped approved plans lodged with the application, except where varied by the conditions herein.
2. The external surfaces of the buildings shall:
 - a) be of new non-reflective materials; and
 - b) be finished in natural tones; and
 - c) be maintained in good condition at all times.
3. The invert, crossover and driveway shall be constructed with brick paving or concrete, prior to occupation of each dwelling, in accordance with Council's Vehicle Crossover Standard Detail, Drawing SD-12, SD-13 and SD-14 and shall be maintained at all times thereafter to the reasonable satisfaction of Council.
4. Designated landscaping areas associated with each dwelling, shall be planted with shade trees, shrubs and ground covers in accordance with the Approved Site Plans (prepared by Rosssdale Homes).

All landscaping shall be completed within 12 months from the date of occupation and shall be maintained at all times thereafter to the reasonable satisfaction of Council (including the replacement of diseased or dying plants and the removal of weeds and pest plants).

5. Tree planting associated with each dwelling shall be undertaken within 12 months from the date of occupation of the dwelling in accordance with the following table:
 - Where allotment is less than 450 square metres, 1 small tree; or
 - Where allotment between 450 square metres and 800 square metres, 1 medium tree or 2 small trees; or
 - Where allotment between 800 square metres, 1 large tree or 2 medium trees or 4 small trees.

Except where otherwise Approved, the tree planting shall be maintained in good health and condition at all times thereafter.

Note: For meaning of tree sizes, please refer to the Urban Tree Canopy Overlay, Planning and Design Code.

6. The Applicant shall prepare and submit a final landscaping plan, identifying the location for all replacement trees, to offset the removal of Regulated and Significant Trees.

The landscape plan shall be subject of review and approval by Council's Parks and Open Space Assets section.

All replacement trees must be planted within 12 months of completion of the development at the following rates:

- i. if the development relates to a regulated tree—2 trees to replace a regulated tree; or
- ii. if the development relates to a significant tree—3 trees to replace a significant tree.

Replacement trees cannot be within a species specified under regulation 3F(4)(b) of the Planning, Development and Infrastructure (General) Regulations 2017, and cannot be planted within 10 metres of an existing dwelling or inground swimming pool.

7. Rainwater tank storage shall be provided, prior to occupation of each dwelling, in accordance with all of the following – for allotments less than 400sqm in area:
 - a) Connected to at least 60% of the roof area; and
 - b) Connected to one toilet;
 - c) The laundry cold water outlets or hot water service; and
 - d) Have a minimum tank capacity of 2,000 litres for retention; and
 - e) Where site perviousness is less than 30% of the total site area, 1,000 litres for detention; and
 - f) Where detention is required, includes a 20-25mm diameter slow release orifice at bottom of the detention component of the tank (or tanks).

The rainwater tank storage shall remain in place at all times thereafter.

8. Rainwater tank storage shall be provided, prior to occupation of the dwelling, in accordance with all of the following – for those allotments greater than 400sqm in area:
 - a) Connected to at least 60% of the roof area; and
 - b) Connected to one toilet; and

- c) The laundry cold water outlets or hot water service; and
- d) Have a minimum tank capacity of 4,000 litres for retention; and
- e) Where site perviousness is less than 35% of the total site area, 1,000 litres for detention; and
- f) Where detention is required, includes a 20-25mm diameter slow release orifice at bottom of the detention component of the tank (or tanks).

The rainwater tank storage shall remain in place at all times thereafter.

Advice Notes

Rights of Appeal

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Building Rules Consent and Approval Still Required

Building Consent and Development Approval must be obtained within 24 months from the date of this Notification, unless this period has been extended by the Council. Work cannot commence until a Development Approval is obtained.

Commencement

The development shall be lawfully commenced by substantial work on the site of the development within 2 years from the date of Development Approval. If substantial work on the site has occurred within 2 years, the development shall be substantially or fully completed within 3 years from the date of Development Approval.

Advice regarding Council land

This Development Approval does not constitute land owners approval. The following applies to any works on Council land:

1. Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or over Council land, is subject to a permit from Council pursuant to Section 221 of the *Local Government Act 1999*.
2. Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from roof expansion.
3. Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and

therefore permission should be first sought from Council before commencing any works;

It is the developers/owners responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.

Siting of Building Work

It is your responsibility to ensure that any building work is correctly sited with respect to the property boundaries of the site and it is strongly recommended that a boundary survey be undertaken before any work commences to ensure the building work is accommodated within the designated footprint and achieves the designated boundary setbacks.

Plans Available Onsite

The Council approved plans should be available on site at all times while performing the building work.

Fences Act

You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the *Fences Act 1975*. To find out more, please visit: <https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>

Building Work Affecting Other Land

Pursuant to Section 139 of the *Planning, Development and Infrastructure Act 2016*, a person undertaking activity that affects stability of land or premises must serve notice in the prescribed form to the owner of the affected site. For the purposes of Section 139, work of the following nature is prescribed as building work which is to be treated for the purposes of that section as building work that affects the stability of other land or premises, namely:

- An excavation which intersects a notational plane extending downwards at a slope of 1 vertical to 21 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site;
- An excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation;
- Any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200mm in depth (or height) and is for landscaping, gardening or other similar purposes.

To find out more, please visit:

<https://lawhandbook.sa.gov.au/ch28s02s06s03.php>

Construction Noise

The applicant is reminded that demolition and construction is required to be carried out so that it complies with the mandatory construction noise provisions of Part 6, Division 1 of the *Environment Protection (Noise) Policy 2007* and the provisions of the *Local Nuisance and Litter Control Act 2016*. Under the *Local Nuisance and Litter Control Act 2016*, construction noise is declared to constitute a local nuisance as follows:

The noise has travelled from the location of the construction activity to neighbouring premises –

- *On any Sunday or public holiday;*
- *After 7pm or before 7am on any other day.*

EPA and Local Nuisance Matters

The applicant is reminded of its general environmental duty, as required by Section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.

In addition, the applicant is responsible for ensuring the development (including demolition, civil works and construction activities) do not cause a ‘local nuisance’ under the *Local Nuisance and Litter Control Act 2016*

Accordingly, your site planning activities should consider:

- providing a stabilised entry/exit point to the site for all construction and trade vehicles, including contained wash down area for vehicles and equipment
- appropriately located stockpiles and storage materials
- a suitable and designated area for brick cutting and concrete works
- a contained area for paint and plastering waste and wash waters
- appropriate location of noisy equipment so as to avoid unreasonable impacts to neighbours
- dust control measures such as use of a water cart and/or covering stockpiles

Note: EPA information sheets, guidelines documents, codes of practice, technical bulletins etc. can be accessed on the following web site: <http://www.epa.sa.gov.au>.

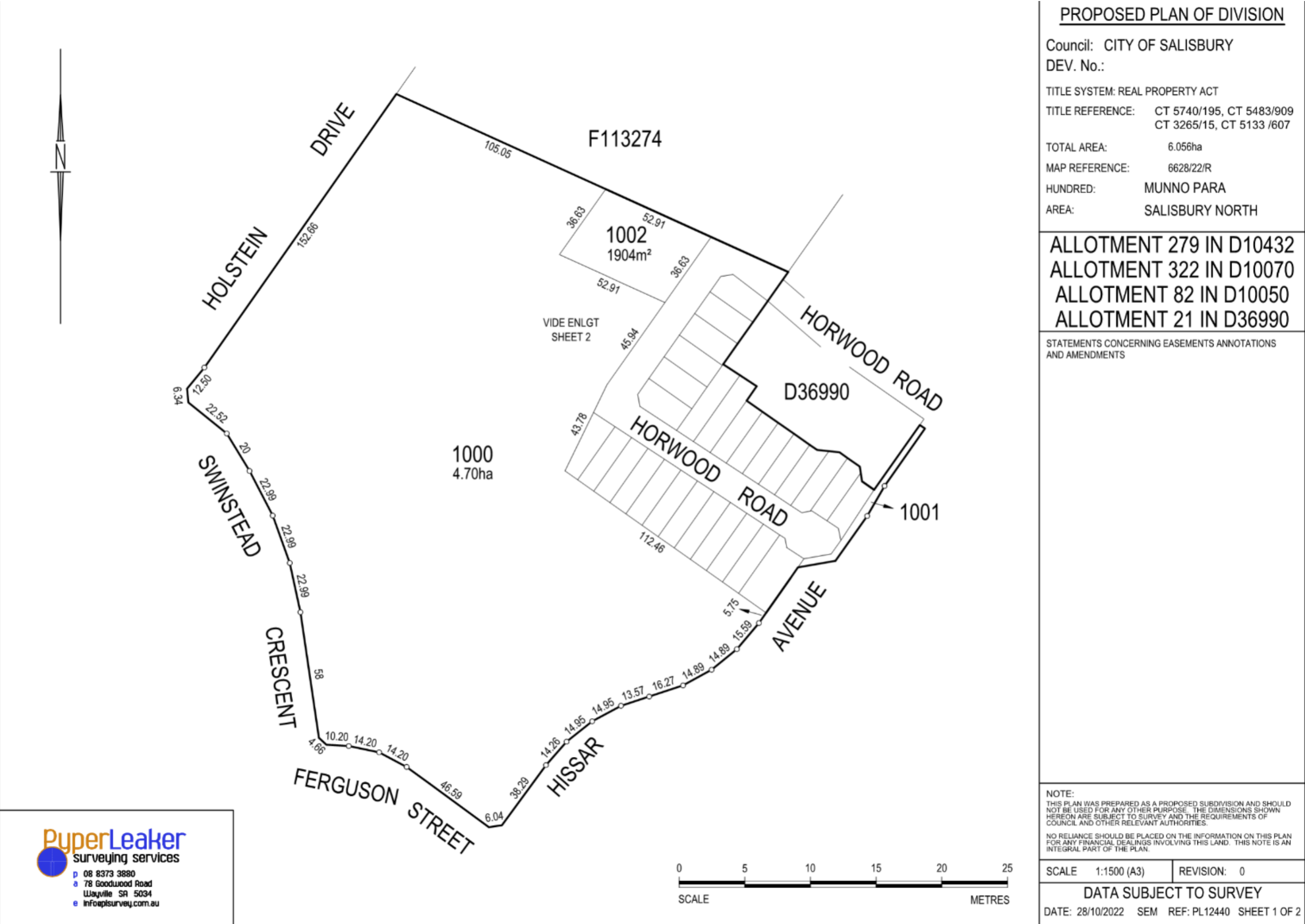
ATTACHMENTS

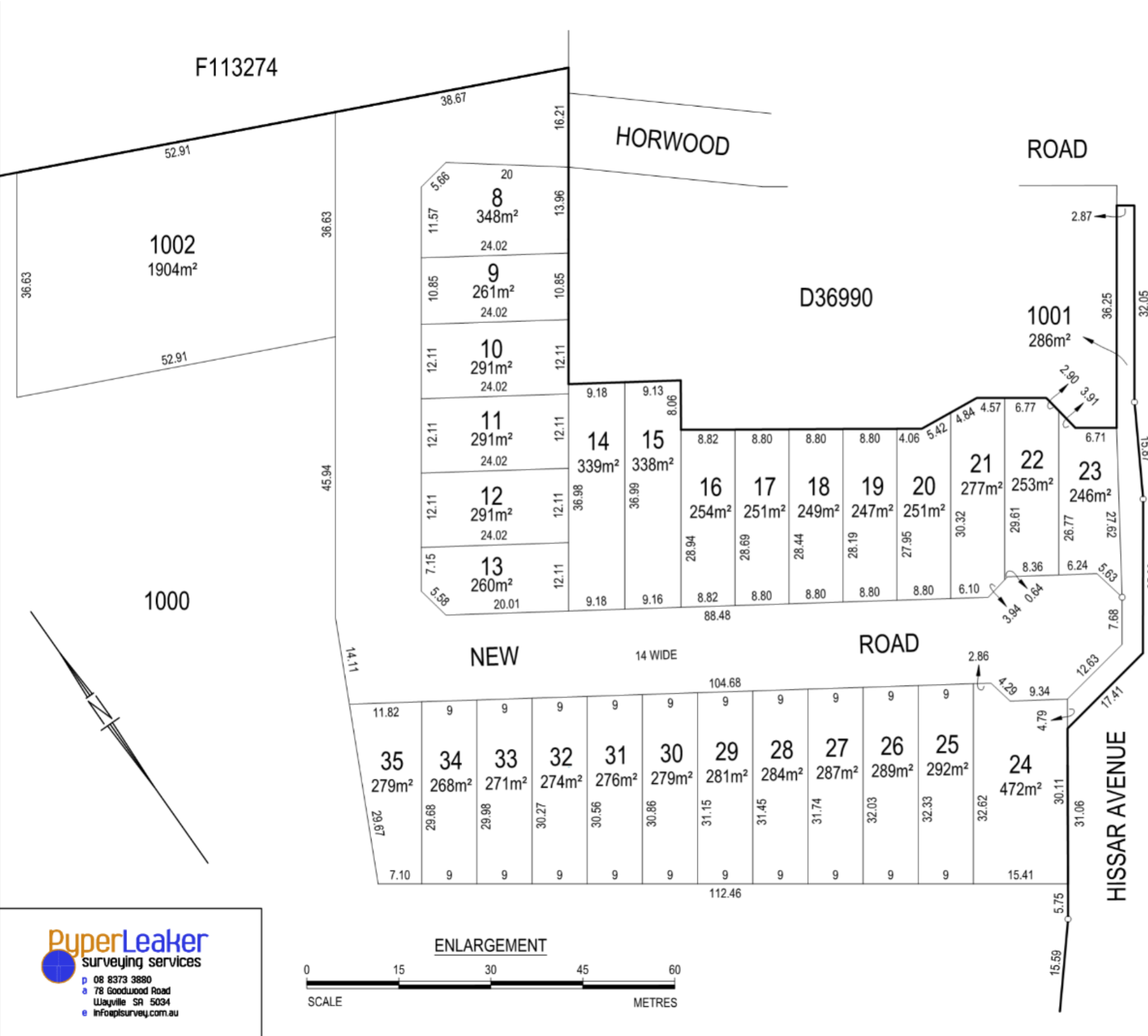
This document should be read in conjunction with the following attachments:

1. Proposal Plans and Supporting Documentation
2. Extract of Planning and Design Code

Appendix 1

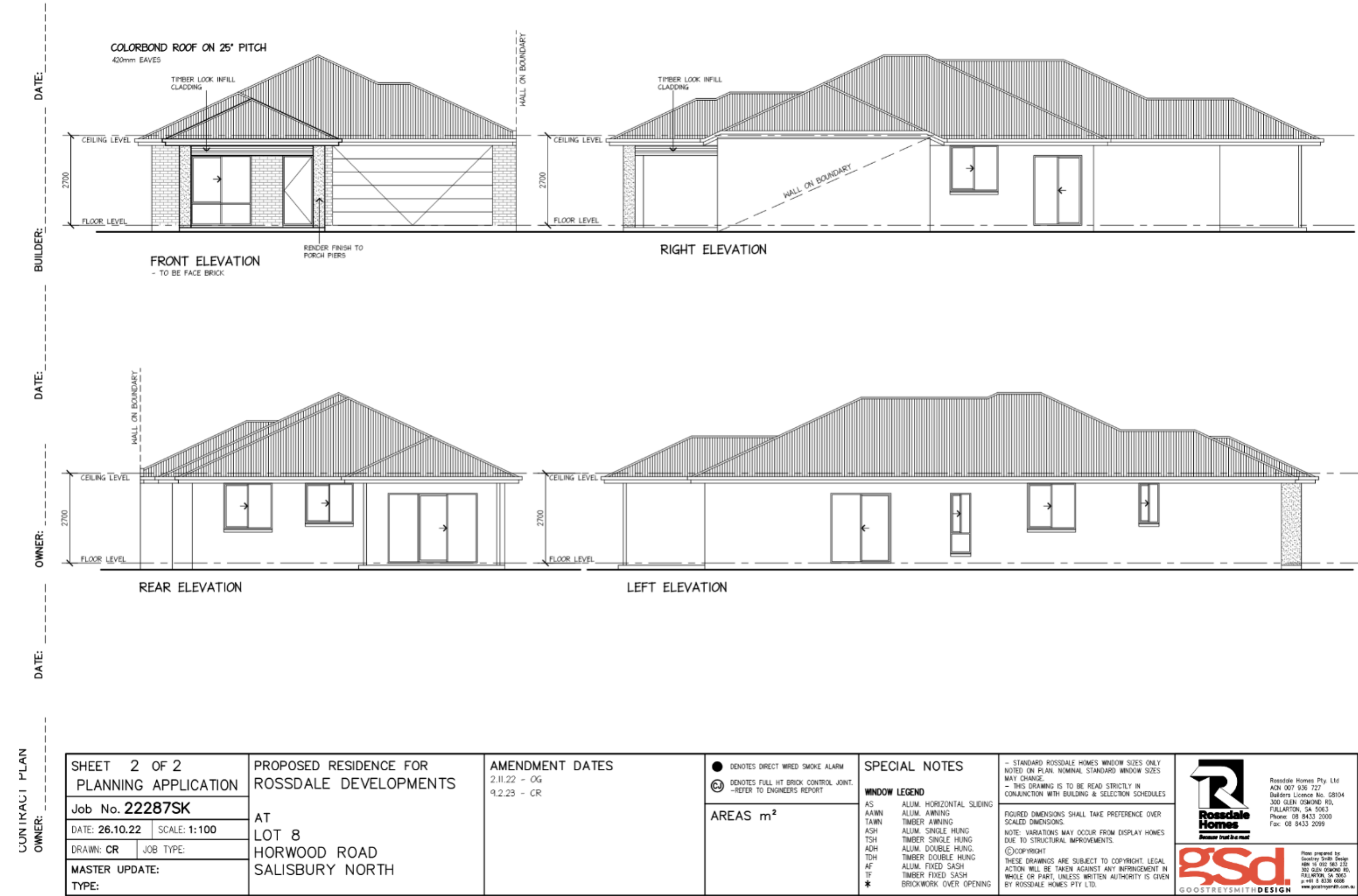
Proposal Plans and Supporting Documentation





PROPOSED PLAN OF DIVISION	
Council: CITY OF SALISBURY	
DEV. No.:	
TITLE SYSTEM: REAL PROPERTY ACT	
TITLE REFERENCE: CT 5740/195, CT 5483/909 CT 3265/15, CT 5133 /607	
TOTAL AREA: 6.056ha	
MAP REFERENCE: 6628/22/R	
HUNDRED: MUNNO PARA	
AREA: SALISBURY NORTH	
ALLOTMENT 279 IN D10432 ALLOTMENT 322 IN D10070 ALLOTMENT 82 IN D10050 ALLOTMENT 21 IN D36990	
STATEMENTS CONCERNING EASEMENTS ANNOTATIONS AND AMENDMENTS	
NOTE: THIS PLAN WAS PREPARED AS A PROPOSED SUBDIVISION AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE DIMENSIONS SHOWN HEREON ARE SUBJECT TO SURVEY AND THE REQUIREMENTS OF COUNCIL AND OTHER RELEVANT AUTHORITIES. NO RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS INVOLVING THIS LAND. THIS NOTE IS AN INTEGRAL PART OF THE PLAN.	
SCALE 1:600 (A3)	REVISION: 0
DATA SUBJECT TO SURVEY	
DATE: 28/10/2022 SEM REF: PL12440 SHEET 2 OF 2	

CONTRACT PLAN OWNER:	SHEET 1 OF 2 PLANNING APPLICATION	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 2.11.22 - OG 9.2.23 - CR 1.3.23 - CR	● DENOTES DIRECT WIRED SMOKE ALARM ☺ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES	<div style="text-align: center;"> Rossdale Homes <i>Because trust is a must</i> </div> <div style="font-size: small; text-align: center;"> Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD. FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099 </div>
	Job No. 22287SK		AT LOT 8 HORWOOD ROAD SALISBURY NORTH		WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	
	DATE: 26.10.22 SCALE: 1:100				AREAS m ² LIVING 125.86 PORTICO 5.43 ALFRESCO 11.44 GARAGE 37.88 TOTAL 180.61	
	DRAWN: CR JOB TYPE:	FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.				
	MASTER UPDATE: TYPE:					





CONTRACT PLAN
OWNER:

DATE:

OWNER:

DATE:

BUILDER:

DATE:

SHEET 1 OF 2 PLANNING APPLICATION	
Job No. 22287SK	
DATE: 26.10.22	SCALE: 1:100
DRAWN: CR	JOB TYPE:
MASTER UPDATE:	
TYPE:	

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 10
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES	
1.3.23 - CR	

●	DENOTES DIRECT WIRED SMOKE ALARM
Ⓢ	DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT
AREAS m ²	
LIVING	128.70
PORTICO	5.46
ALFRESCO	10.21
GARAGE	37.13
TOTAL	181.50


SPECIAL NOTES	
WINDOW LEGEND	
AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES


FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.

NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.

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Rossdale Homes Pty. Ltd
ACN 007 936 727
Builders Licence No. 68104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: 08 8433 2000
Fax: 08 8433 2099



GOOSTREYSMITH DESIGN

Plans prepared by
Goostrey Smith Design
AEM 19 092 563 235
302 GLEN OSMOND RD
FULLARTON, SA 5063
p: +61 8 8333 6088
www.goostreydesign.com.au



SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES		<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>CJ DENOTES FULL HT BRICK CONTROL JONT. -REFER TO ENGINEERS REPORT</div>		SPECIAL NOTES		<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div>		<div><div>Rossdale Homes</div><div>Because trust is a must</div></div> <div>Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div>	
Job No. 22287SK		AT LOT 10 HORWOOD ROAD SALISBURY NORTH				AREAS m ²		WINDOW LEGEND		<div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</div> <div>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT</div> <div>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>		<div>Plans prepared by: Goostrey Smith Design ABN 16 002 583 252 302 GLEN OSMOND RD, FULLARTON, SA 5063 p+61 8 8336 8888 www.goostreysmith.com.au</div>	
DATE: 26.10.22 SCALE: 1:100								AS ALUM. HORIZONTAL SLIDING AAUM ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING					
DRAWN: CR JOB TYPE:													
MASTER UPDATE: TYPE:													

CONTRACT PLAN

OWNER:

DATE:

OWNER:

DATE:

BUILDER:

DATE:

HORWOOD ROAD

SMALL TREE
PYRUS CALLERYANA 'CAPITAL'
ORNAMENTAL PEAR TREE
- 2.0m MATURE SPREAD
- 4.0m MATURE HEIGHT

The site development plan shows a rectangular plot measuring 5500 units by 2580 units. The building footprint includes a Double Garage (5.75 x 5.80), Kitchen (3.16 x 2.40), Meals room (4.35 x 5.99), Family room (4.83 x 2.79), Alfresco area (4.83 x 2.79), three Bedrooms (Bed 1: 3.47 x 3.64, Bed 2: 3.59 x 2.90 incl robe, Bed 3: 3.59 x 3.08 incl robe), Bath, L'Dry, WC, ENS, WIR, Port., Entry, and a PTry. A double garage is located at the rear left. A driveway leads from Horwood Road to the garage. Landscaping includes small trees and concrete perimeter paving.

SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	291 m ²
TOTAL SITE COVERAGE	59%
PRIVATE OPEN SPACE	60 m ²

CONCRETE PERIMETER PAVING AND DRIVENWAY	
LANDSCAPING	

SHEET 1 OF 2
PLANNING APPLICATION

Job No. **22287SK**

DATE: **26.10.22** SCALE: **1:100**

DRAWN: **CR** JOB TYPE:

MASTER UPDATE:
TYPE:

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 11
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES

1.3.23 - CR

- DENOTES DIRECT WIRED SMOKE ALARM
- ⊕ DENOTES FULL HT BRICK CONTROL JOINT.
—REFER TO ENGINEER'S REPORT

AREAS m²

LIVING	117.98
PORTRICO	4.09
ALFRESCO	13.24
GARAGE	37.20
TOTAL	172.57

SPECIAL NOTES

WINDOW LEGEND

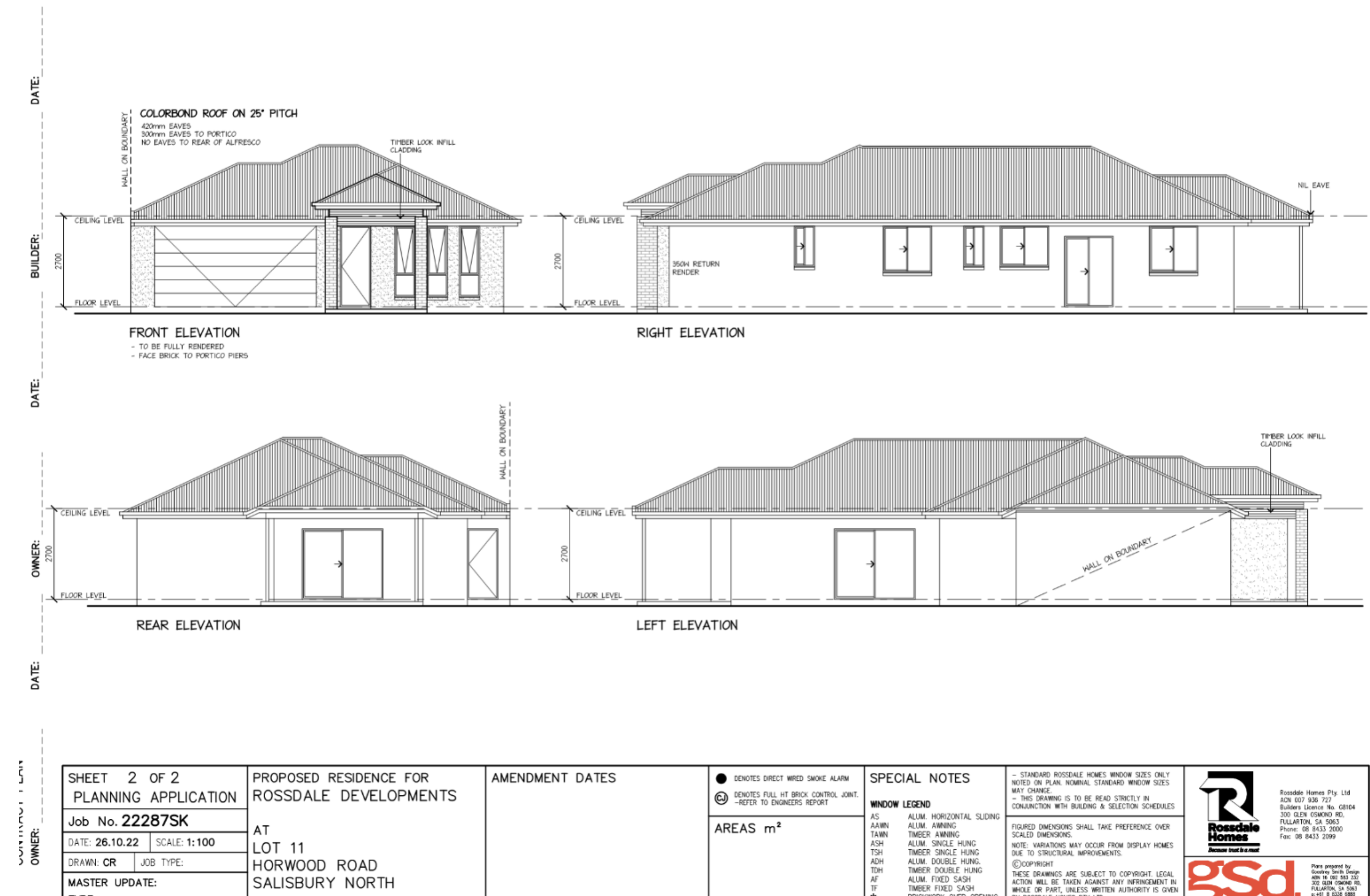
AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

FIGURED DIMENSIONS SHALL TAKE PREFFERENCE OVER SCALED DIMENSIONS.
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Builders Licence No. G81
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: GB 8433 2000
Fax: GB 8433 2099

Plans prepared b
Goostrey Smith &
ABN 10 002 583
302 GLEN OSMOND
FULLARTON, SA 5
p+61 8 8336 61
www.goostreysmith.com.au



CONTRACT PLAN

DATE:

OWNER:

DATE:

BUILDER:

DATE:

SHEET 1 OF 2	
PLANNING APPLICATION	
Job No. 22287SK	
DATE: 26.10.22	SCALE: 1:100
DRAWN: CR	JOB TYPE:
MASTER UPDATE:	
TYPE:	

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 12
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES

1.3.23 - CR

AREAS m ²	
LIVING	128.70
PORTICO	5.46
ALFRESCO	10.21
GARAGE	37.13
TOTAL	181.50

SPECIAL NOTES	
WINDOW LEGEND	
AS	ALUM. HORIZONTAL SLIDING
AWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.


THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES.

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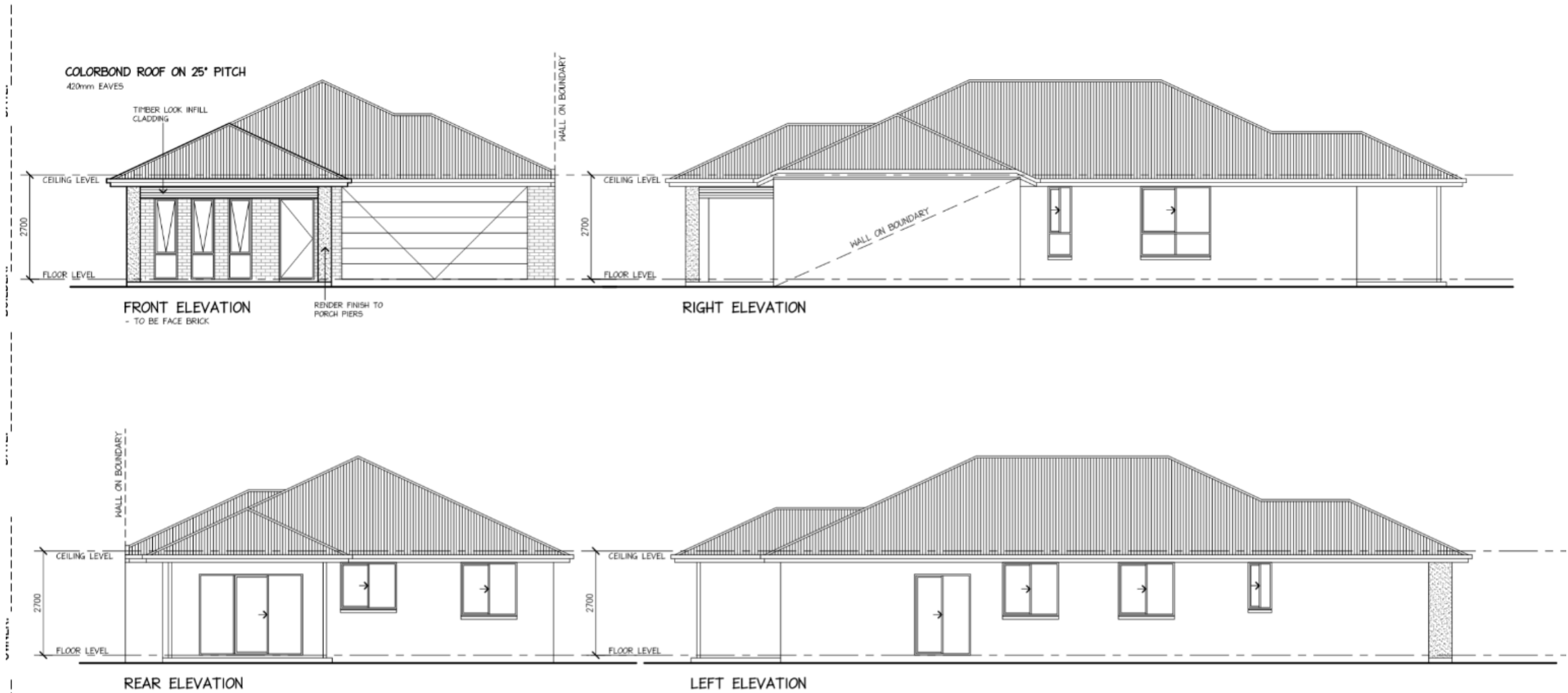




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Builders Licence No. 08104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
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Fax: 08 8433 2099

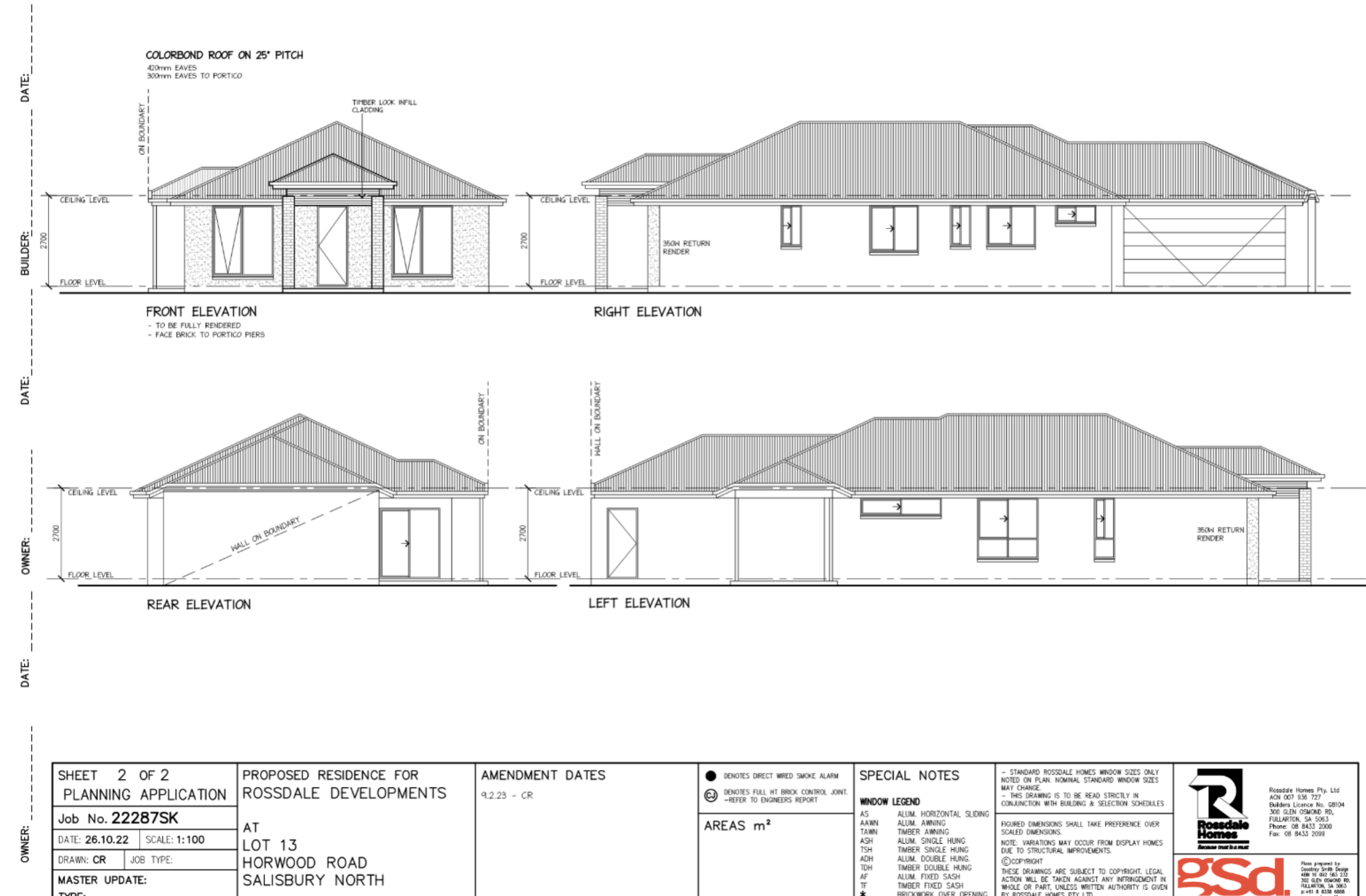


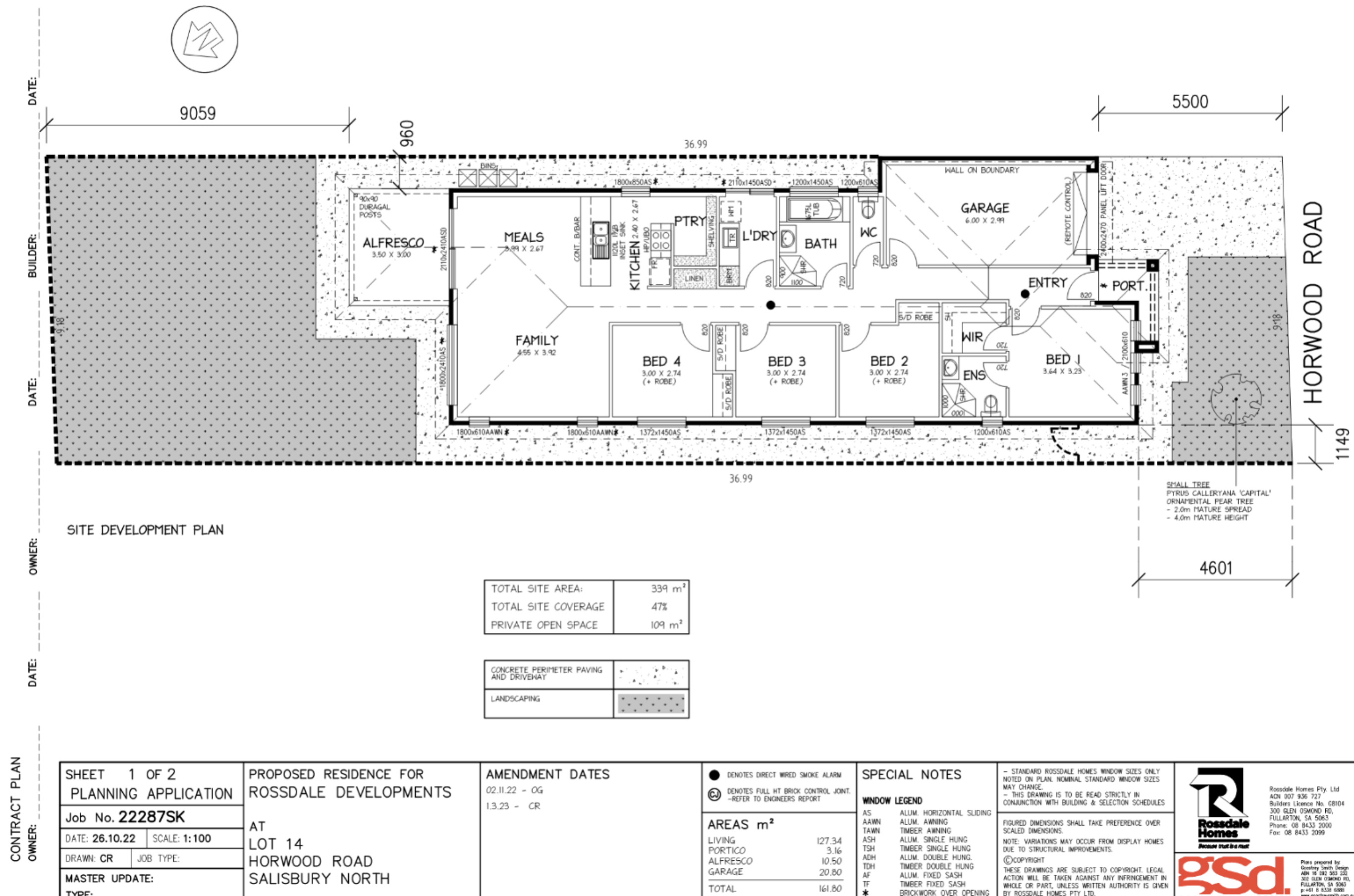
gsd
GOSNEY SMITH DESIGN

Plans prepared by
Gosney Smith Design
ABN 16 082 563 232
302 GLEN OSMOND RD,
FULLARTON, SA 5063
p +61 8 8338 0888
www.gosneydesign.com.au



SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 12 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES		<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING</div> <div>AAWN ALUM. AWNING</div> <div>TAWN TIMBER AWNING</div> <div>ASH ALUM. SINGLE HUNG</div> <div>TSH TIMBER SINGLE HUNG</div> <div>ADH ALUM. DOUBLE HUNG</div> <div>TDH TIMBER DOUBLE HUNG</div> <div>AF ALUM. FIXED SASH</div> <div>TF TIMBER FIXED SASH</div> <div>* BRICKWORK OVER OPENING</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</div> <div>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT</div> <div>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>	<div><div>Rossdale Homes Accommodate the future</div></div> <div><div>GOOSTREYSMITH DESIGN</div></div>
Job No. 22287SK								
DATE: 26.10.22	SCALE: 1:100							
DRAWN: CR	JOB TYPE:							
MASTER UPDATE: TYPE:								





OWNER:

DATE:



BUILDER:

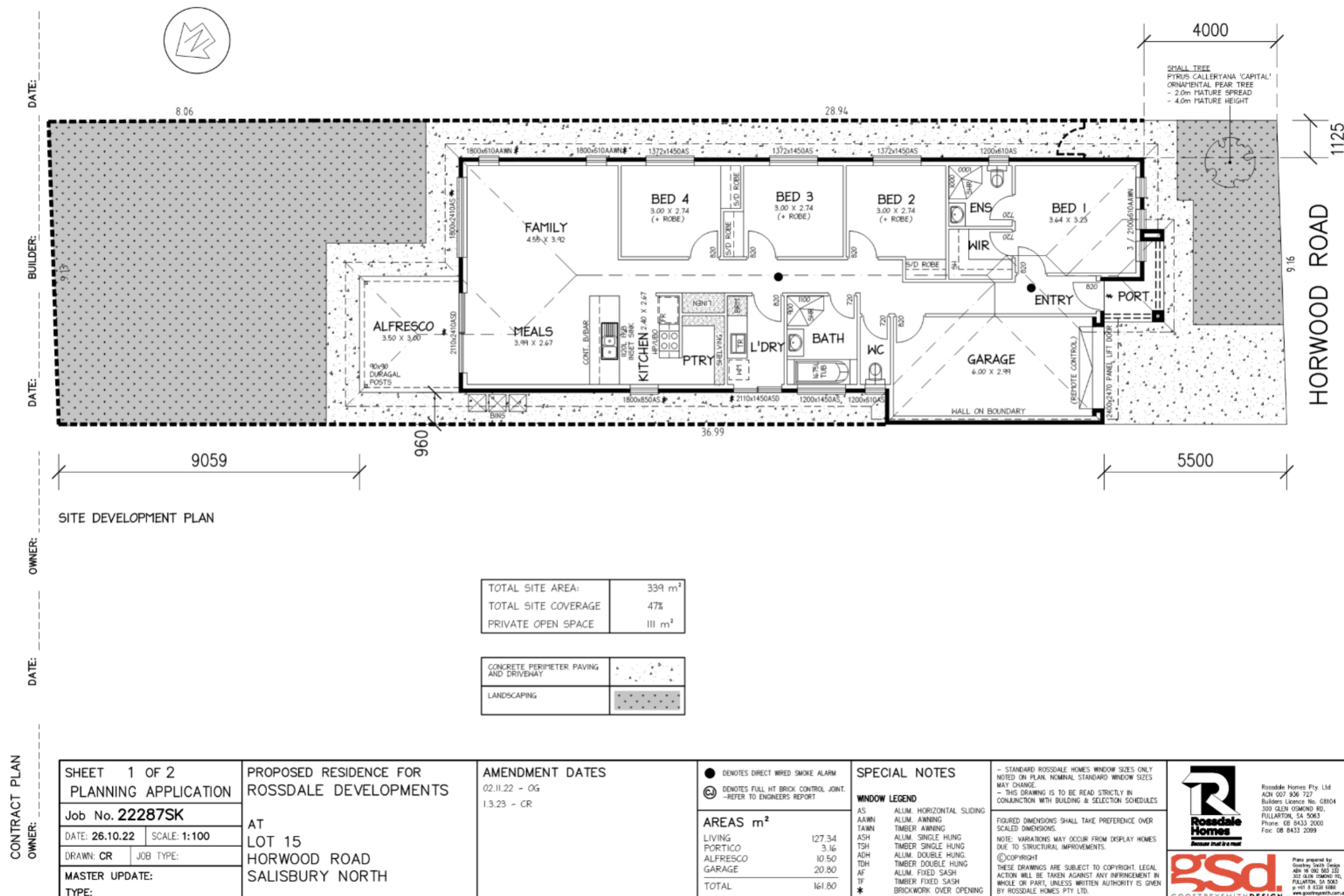
DATE:

OWNER:


DATE:



SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 02.11.22 - 06		● DENOTES DIRECT WIRED SMOKE ALARM (CJ) DENOTES FULL HT BRICK CONTROL JNCT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH	
Job No. 22287SK		AT		AREAS m ²		- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART UNLESS WRITTEN AUTHORITY IS GIVEN		 Rossdale Homes Pty. Ltd ACN 907 936 727 Builders License No. CB104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  Plans prepared by: Gentry Smith Design ABN 16 582 583 212 300 GLEN OSMOND RD, FULLARTON, SA 5063	
DATE: 26.10.22 SCALE: 1:100		LOT 14							
DRAWN: CR JOB TYPE:		HORWOOD ROAD							
MASTER UPDATE:		SALISBURY NORTH							





SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 02.11.22 - OG	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES	 <p>Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</p>
Job No. 22287SK		AT LOT 15 HORWOOD ROAD SALISBURY NORTH		AREAS m ²	WINDOW LEGEND	FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	
DATE: 26.10.22	SCALE: 1:100				AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN ALUM. AWNING ASH ALUM. SINGLE HUNG TSH ALUM. SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH ALUM. DOUBLE HUNG AF ALUM. FIXED SASH TF ALUM. FIXED SASH * BRICKWORK OVER OPENING		
DRAWN: CR JOB TYPE:							
MASTER UPDATE:							
TYPE:							

CONTRACT PLAN

OWNER:

DATE:

OWNER:

DATE:

BUILDER:

DATE:

SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	253 m ²
TOTAL SITE COVERAGE	58%
PRIVATE OPEN SPACE	48 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

ROOMS AND DIMENSIONS:

- ALFRESCO: 3.50 X 3.00
- MEALS: 3.32 X 2.73
- KITCHEN: 2.40 X 2.73
- L'DRY: 1.00 X 1.00
- BATH: 1.75 X 1.75
- VAN: 1.00 X 1.00
- GARAGE: 3.00 X 5.80
- ENTRY: 1.00 X 1.00
- PORCH: 1.00 X 1.00
- FAMILY: 5.00 X 3.98
- BED 3: 3.00 X 2.80 (+ ROBE)
- BED 2: 3.00 X 2.80 (+ ROBE)
- BED 1: 3.51 X 2.91
- ENS: 1.50 X 1.50
- WIR: 1.50 X 1.50

LANDSCAPING:

- SMALL TREE: PYRUS CALLERYANA 'CAPITAL' ORNAMENTAL PEAR TREE - 2.0m MATURE SPREAD - 4.0m MATURE HEIGHT

SHEET 1 OF 2 PLANNING APPLICATION	
Job No. 22287SK	
DATE: 26.10.22	SCALE: 1:100
DRAWN: CR	JOB TYPE:
MASTER UPDATE:	
TYPE:	

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 16
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES
1.3.23 - CR

●	DENOTES DIRECT WIRED SMOKE ALARM
Ⓢ	DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEER'S REPORT
AREAS m²	
LIVING	112.49
PORCH	4.12
ALFRESCO	10.50
GARAGE	20.54
TOTAL	147.65

SPECIAL NOTES	
WINDOW LEGEND	
AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.

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ACN 007 936 727
Builders Licence No. G8104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: 08 8433 2009
Fax: 08 8433 2099

Plans prepared by:
Goostrey Smith Design
489/10 002 185 235
302 GLEN OSMOND RD,
FULLARTON, SA 5063
g+61 8 8358 6288
www.goostreysmith.com.au

CONTRACT PLAN

OWNER: _____

DATE: _____

OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____

CEILING LEVEL

2700

FLOOR LEVEL

FRONT ELEVATION

- TO BE FULLY RENDERED

FACE BRICK TO PORCH PIERS

WALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

REAR ELEVATION

WALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

RIGHT ELEVATION

WALL ON BOUNDARY

NIL EAVE TO THIS SIDE

CEILING LEVEL

2700

FLOOR LEVEL

LEFT ELEVATION

SHEET 2 OF 2

PLANNING APPLICATION

Job No. 22287SK

DATE: 26.10.22

SCALE: 1:100

DRAWN: CR

JOB TYPE:

MASTER UPDATE:

TYPE:

PROPOSED RESIDENCE FOR

ROSSDALE DEVELOPMENTS

AT

LOT 16

HORWOOD ROAD

SALISBURY NORTH

AMENDMENT DATES

● DENOTES DIRECT WIRED SMOKE ALARM

Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT

AREAS m²

SPECIAL NOTES

WINDOW LEGEND

AS ALUM. HORIZONTAL SLIDING

AAWN ALUM. AWNING

TAWN TIMBER AWNING

ASH ALUM. SINGLE HUNG

TSH TIMBER SINGLE HUNG

ADH ALUM. DOUBLE HUNG

TDH TIMBER DOUBLE HUNG

AF ALUM. FIXED SASH

TF TIMBER FIXED SASH

* BRICKWORK OVER OPENING

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ROSSDALE HOMES

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Phone: 08 8433 2000

Fax: 08 8433 2099

gSd

GOOSTREYSMITHDESIGN

Plans prepared by

Goostrey Smith Design

ABN 16 602 563 212

302 GLEN OSMOND RD,

FULLARTON, SA 5063

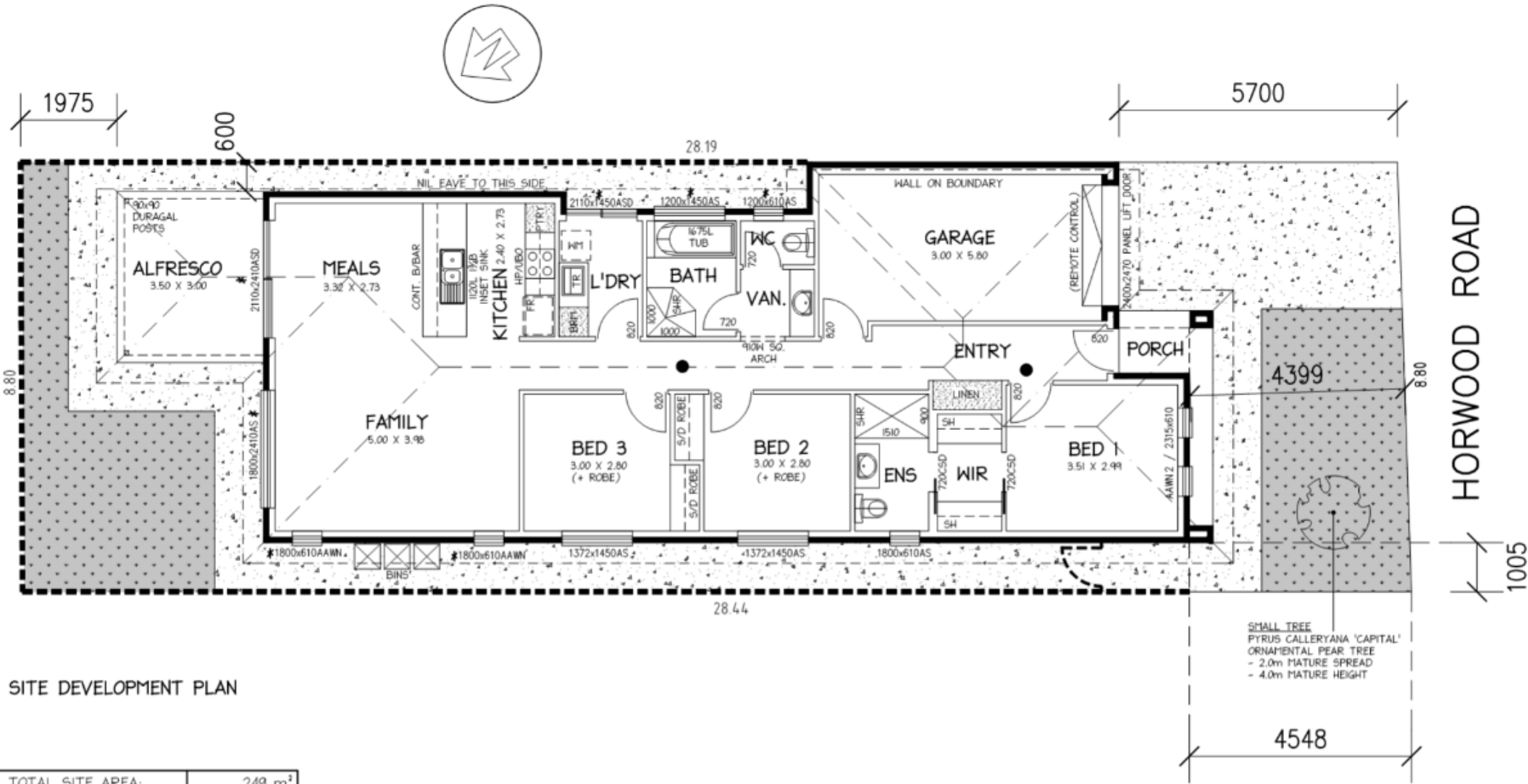
pt+61 8 8338 6888

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Page 326
Council Assessment Panel Agenda - 26 April 2023

City of Salisbury



Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation



SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	249 m ²
TOTAL SITE COVERAGE	59%
PRIVATE OPEN SPACE	45 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 1.3.23 - CR	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	 Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. CB104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  Plans prepared by Gentry Smith Design ABN 10 092 583 332 302 GLEN OSMOND RD, FULLARTON, SA 5063 p: 08 8433 6088 www.gentrysmith.com.au
Job No. 22287SK							
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE: TYPE:							

CONTRACT PLAN

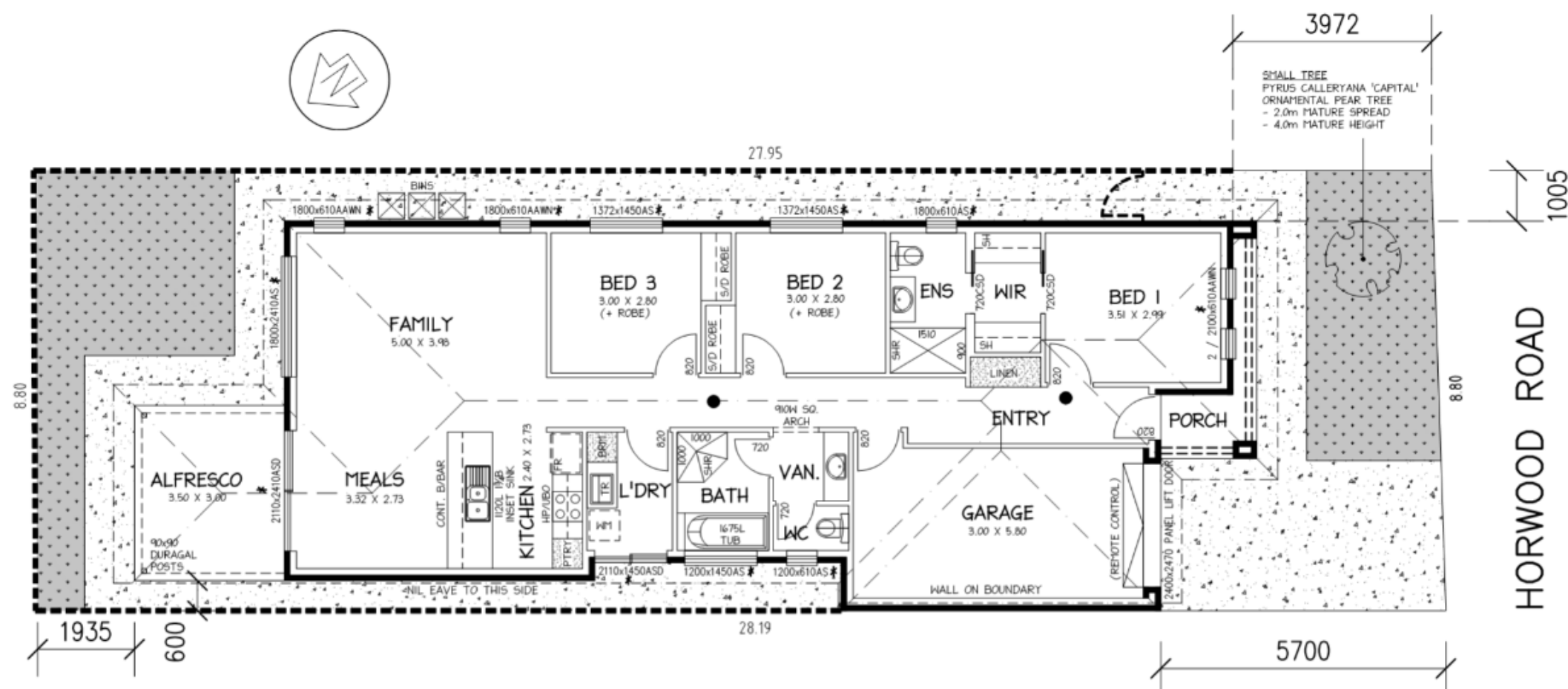
OWNER:

DATE:

OWNER:



BUILDER:



DATE:



SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	246 m ²
TOTAL SITE COVERAGE	60%
PRIVATE OPEN SPACE	44 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 1.3.23 - CR		● DENOTES DIRECT WIRED SMOKE ALARM (CJ) DENOTES FULL HT BRICK CONTROL JONT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		 Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099	
Job No. 22287SK		AT LOT 19 HORWOOD ROAD		AREAS m ² LIVING 112.49 PORCH 4.12 ALFRESCO 10.50		WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LEGAL		 Plans prepared by: Geography Smith Design	
DATE: 26.10.22	SCALE: 1:100										
DRAWN: CR	JOB TYPE:										

DATE: _____

BUILDER: _____

DATE: _____

OWNER: _____

DATE: _____



OWNER: _____

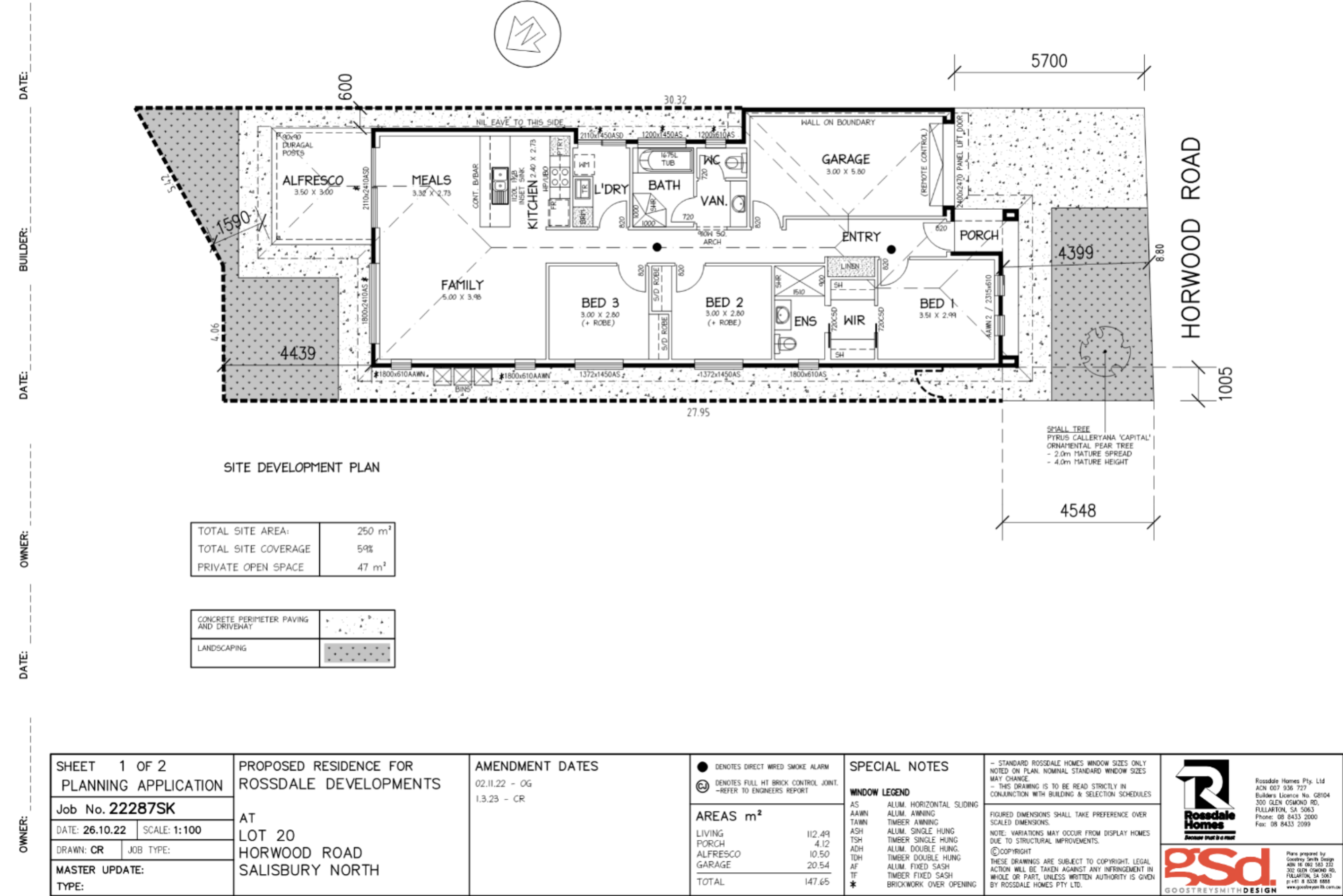
FRONT ELEVATION
- TO BE FACE BRICK

REAR ELEVATION

LEFT ELEVATION

RIGHT ELEVATION

SHEET 2 OF 2 PLANNING APPLICATION	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES	<ul style="list-style-type: none">● DENOTES DIRECT WIRED SMOKE ALARMⓈ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES	<ul style="list-style-type: none">- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES	 <div>Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSWIND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div>
Job No. 22287SK	AT LOT 19 HORWOOD ROAD SALISBURY NORTH		AREAS m²	WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	<p>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</p> <p>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</p>	 <div>Plans prepared by Goostrey Smith Design ABN 16 002 583 252 300 GLEN OSWIND RD, FULLARTON, SA 5063 p: 08 8433 6888 www.goostreysmith.com.au</div>
DATE: 26.10.22 SCALE: 1:100						
DRAWN: CR JOB TYPE:						
MASTER UPDATE: TYPE:						



DATE: _____
BUILDER: _____
DATE: _____
OWNER: _____
DATE: _____

The figure contains four architectural elevation drawings of a proposed residence:

- FRONT ELEVATION:** Shows a gabled roof with a 25° pitch. The front facade features a central entrance with a small porch supported by piers. To the left is a large window or door opening. The roof is labeled "COLORBOND ROOF ON 25° PITCH" with "420mm EAVES (NO EAVES LHS.)". Timber look infill cladding is shown above the porch. Dimensions indicate a height from floor level to ceiling level of 2700.
- REAR ELEVATION:** Shows the rear facade with two large windows. It has a similar gabled roof structure. Dimensions indicate a height from floor level to ceiling level of 2700.
- LEFT ELEVATION:** Shows the side profile of the house. It includes a door and several windows. A note states "NIL EAVE TO THIS SIDE". Timber look infill cladding is shown at the roofline. Dimensions indicate a height from floor level to ceiling level of 2700.
- RIGHT ELEVATION:** Shows the other side profile. It features multiple windows and a section labeled "480W RETURN RENDER". Timber look infill cladding is shown at the roofline. Dimensions indicate a height from floor level to ceiling level of 2700.

SHEET 2 OF 2 PLANNING APPLICATION	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES	Rossdale Homes Pty Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099
Job No. 22287SK	AT LOT 21 HORWOOD ROAD SALISBURY NORTH		AREAS m²	WINDOW LEGEND	FIGURED DIMENSIONS SHALL TAKE PREFFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	
DATE: 26.10.22 SCALE: 1:100				AS AAWN TAWN ASH TSH ADH TDH AF TF *		
DRAWN: CR JOB TYPE:				ALUM. HORIZONTAL SLIDING ALUM. AWNING TIMBER AWNING ALUM. SINGLE HUNG TIMBER SINGLE HUNG ALUM. DOUBLE HUNG TIMBER DOUBLE HUNG ALUM. FIXED SASH TIMBER FIXED SASH BRICKWORK OVER OPENING		
MASTER UPDATE: TYPE:						

CONTRACT PLAN
OWNER:

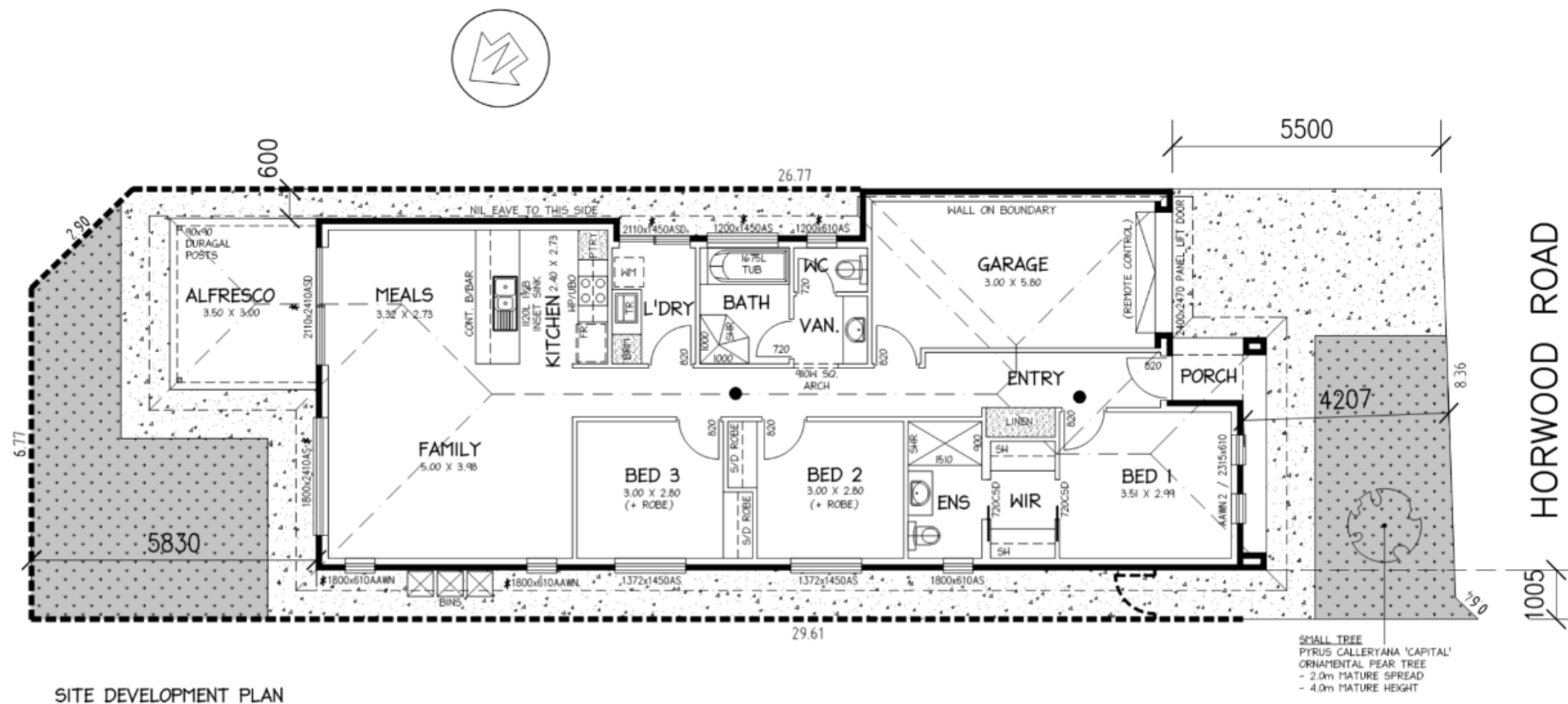
DATE:

BUILDER:



DATE:



OWNER:

DATE:



TOTAL SITE AREA:	253 m ²
TOTAL SITE COVERAGE	58%
PRIVATE OPEN SPACE	50 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 02.11.22 - OG 13.23 - CR		● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEER'S REPORT		SPECIAL NOTES - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		<div><div>Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. GB10 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div></div>			
Job No. 22287SK		AT LOT 22 HORWOOD ROAD SALISBURY NORTH				AREAS m ² LIVING 112.49 PORCH 4.12 ALFRESCO 10.50 GARAGE 20.54 TOTAL 147.65		WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH ★ BRICKWORK OVER OPENING		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES.		<div><div>Plans prepared by Gossard Smith & Davis ABN 15 092 083 2 302 GLEN OSMOND FULLARTON, SA 5063 p+61 8 8330 6000</div></div>	
DATE: 26.10.22		SCALE: 1:100											
DRAWN: CR		JOB TYPE:											
MASTER UPDATE: TYPE:													

CONTINUUM PLAN

DATE:

BUILDER:

DATE:

OWNER:

DATE:

COLORBOND ROOF ON 25° PITCH
420mm EAVES
(NO EAVES RIS)

FRONT ELEVATION

- TO BE FULLY RENDERED

FACE BRICK TO PORCH PIERS

WALL ON BOUNDARY

REAR ELEVATION

RIGHT ELEVATION

LEFT ELEVATION

SHEET 2 OF 2
PLANNING APPLICATION

Job No. 22287SK

DATE: 26.10.22 SCALE: 1:100

DRAWN: CR JOB TYPE:

MASTER UPDATE:

TYPE:

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 22
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES

02.11.22 - OG

- DENOTES DIRECT WIRED SMOKE ALARM
- DENOTES FULL HT BRICK CONTROL JOINT.
—REFER TO ENGINEERS REPORT

AREAS m²

SPECIAL NOTES

WINDOW LEGEND

AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.

- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

FIGURED DIMENSIONS SHALL TAKE PREFFERENCE OVER SCALED DIMENSIONS.
NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.
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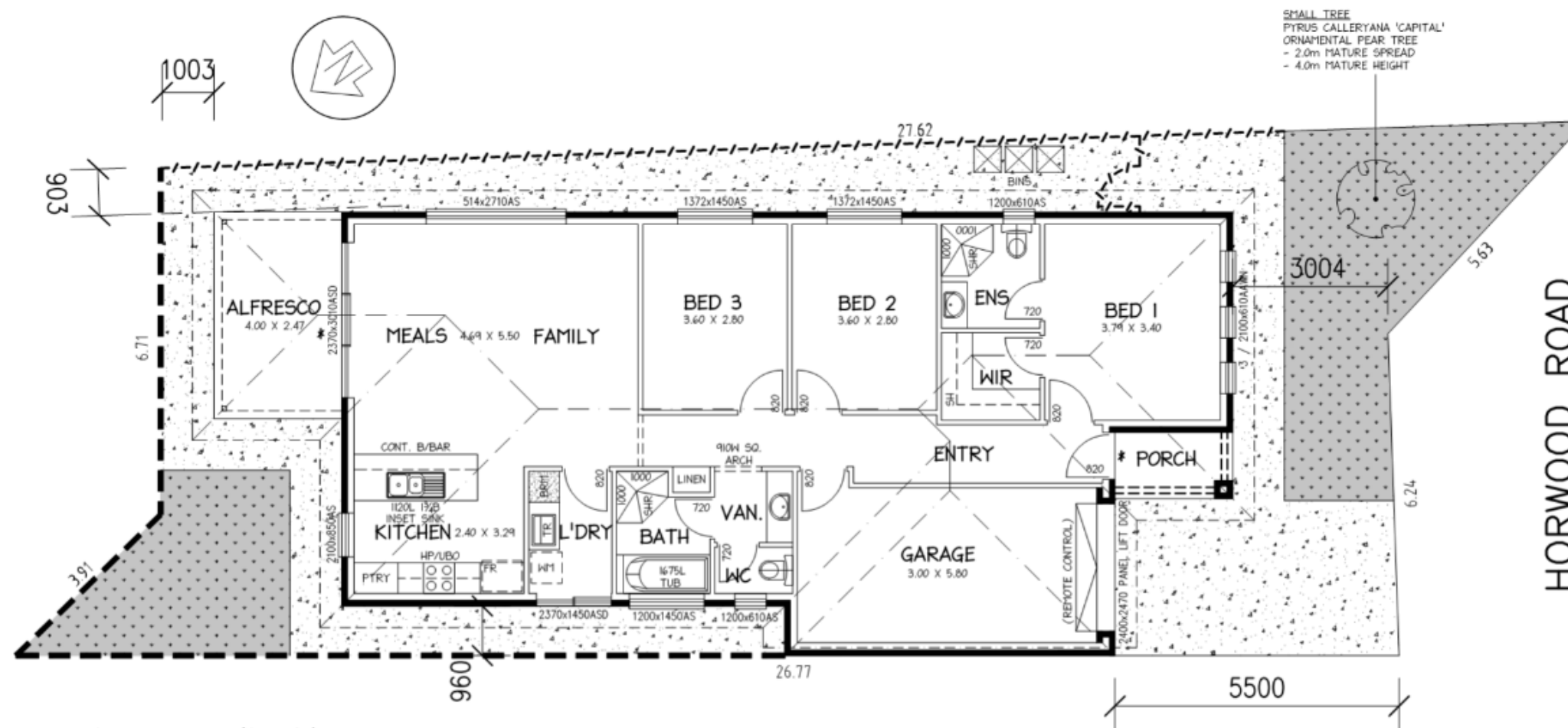
Rossdale Homes Pty Ltd
ACN 007 936 727
Builders Licence No. G8104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: 08 8433 2000
Fax: 08 8433 2099

Plans prepared by:
Goostrey Smith Design
ABN 16 002 280 222
302 GLEN OSMOND RD,
FULLARTON, SA 5063
p+61 8 8438 6888
www.goostreysmith.com.au

CONTRACT PLAN



OWNER: _____ DATE: _____



BUILDER: _____ DATE: _____



SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	246 m ²
TOTAL SITE COVERAGE	58%
PRIVATE OPEN SPACE	38 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 1.3.23 - CR		<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>CU DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div>		SPECIAL NOTES ~ STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. ~ THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		<div><div>Rossdale Homes</div><div>Because Craft Is A Must</div></div> <div>Rossdale Homes Pty Ltd ACN 007 936 727 Builders Licence No. CB104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div>			
Job No. 22287SK		AT LOT 23 HORWOOD ROAD SALISBURY NORTH				AREAS m ² LIVING 109.55 PORCH 2.92 ALFRESCO 9.88 GARAGE 20.54 TOTAL 142.89		WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH OAWN ALUM. OPENING		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN		<div><div>Plans prepared by: Gentry Smith Design 101 GLEN OSMOND RD 302 GLEN OSMOND FULLARTON, SA 5063 PH: 08 8433 6088</div></div>	
DATE: 26.10.22		SCALE: 1:100											
DRAWN: CR		JOB TYPE:											
MASTER UPDATE:													

DATE: _____

BUILDER: _____

DATE: _____

OWNER: _____

DATE: _____

COUNCIL PLAN OWNER: _____

FRONT ELEVATION
- TO BE FACE BRICK

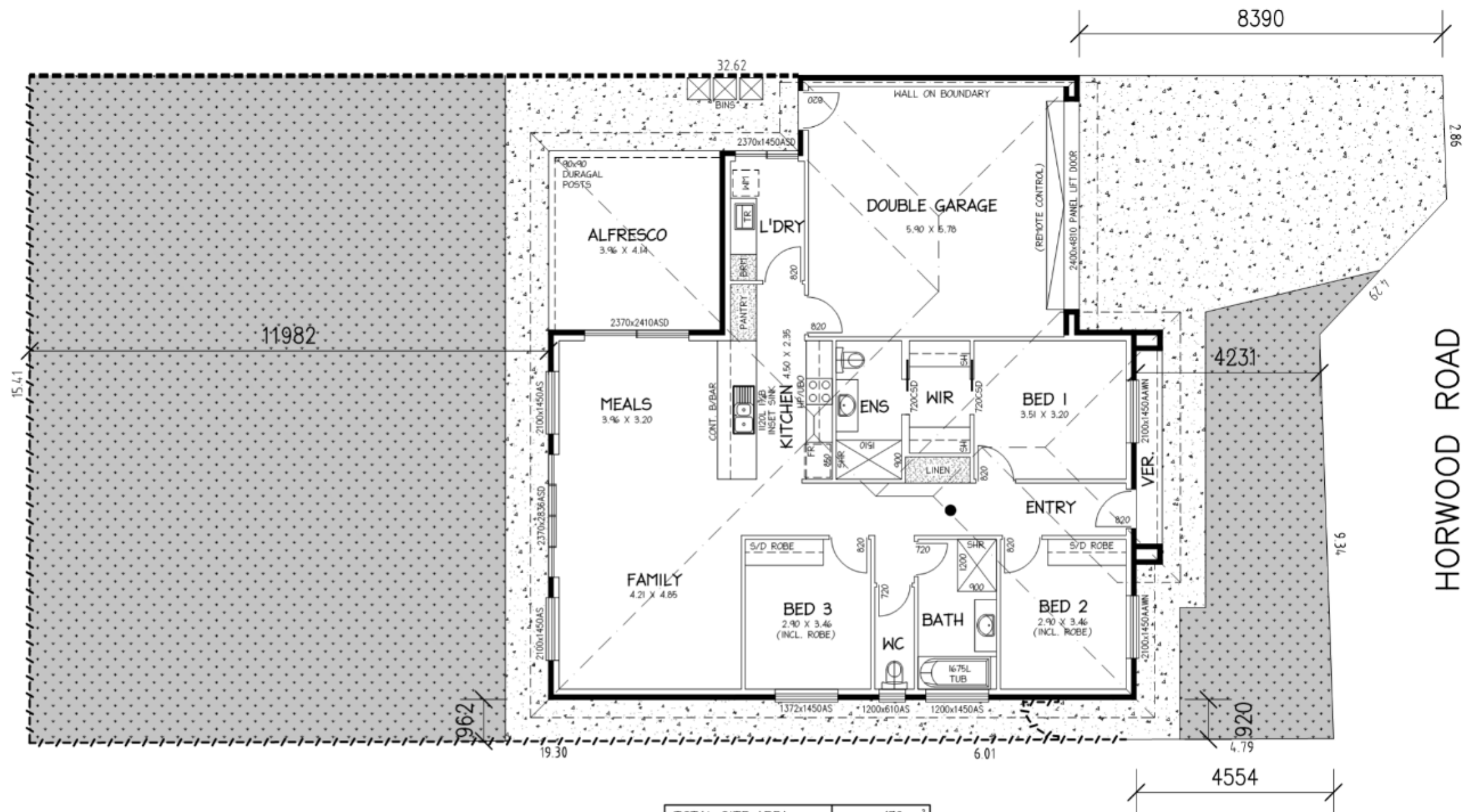
REAR ELEVATION



RIGHT ELEVATION

LEFT ELEVATION

<div>SHEET 2 OF 2 PLANNING APPLICATION</div> <div>Job No. 22287SK</div> <div>DATE: 26.10.22 SCALE: 1:100</div> <div>DRAWN: CR JOB TYPE:</div> <div>MASTER UPDATE: TYPE:</div>	<div>PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS</div> <div>AT LOT 23 HORWOOD ROAD SALISBURY NORTH</div>	<div>AMENDMENT DATES</div>	<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>	<div> Rosedale Homes Pty. Ltd ACN 007 938 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div> <div> GOOSTREYSMITH DESIGN Plans prepared by Goostrey Smith Design ABN 16 002 583 232 300 GLEN OSMOND RD, FULLARTON, SA 5063 p: 08 8433 2000 www.goostrey-smith.com.au</div>
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CONTRACT PLAN



SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 02.11.22 - OG 1.3.23 - CR 06.03.23 - OG		● DENOTES DIRECT WIRED SMOKE ALARM (CJ) DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		 Rossdale Homes Pty Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099	
Job No. 22287SK		AT LOT 24 HORWOOD ROAD SALISBURY NORTH				WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.		 Goostrey Smith Design Plans prepared by: Goostrey Smith Design ABN 16 092 563 220 302 GLEN OSMOND FULLARTON, SA 5063 p: 451 8 8330 6666 www.goostreysmith.co	
DATE: 26.10.22	SCALE: 1:100					AREAS m ² LIVING 123.26 VERANDAH 3.25 ALFRESCO 16.39 GARAGE 38.10 TOTAL 181.00					
DRAWN: CR	JOB TYPE:										
MASTER UPDATE: TYPE:											

DATE:

BUILDER:

DATE:

OWNER:

DATE:

CONTRACT PLAN

OWNER:

COLORBOND ROOF ON 25° PITCH

420mm EAVES

TIMBER LOOK INFILL

CLADDING

CEILING LEVEL

2700

FLOOR LEVEL

FRONT ELEVATION

- TO BE FACE BRICK

RENDER FINISH TO

PORCH PIERS

WALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

RIGHT ELEVATION

WALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

REAR ELEVATION

WALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

LEFT ELEVATION

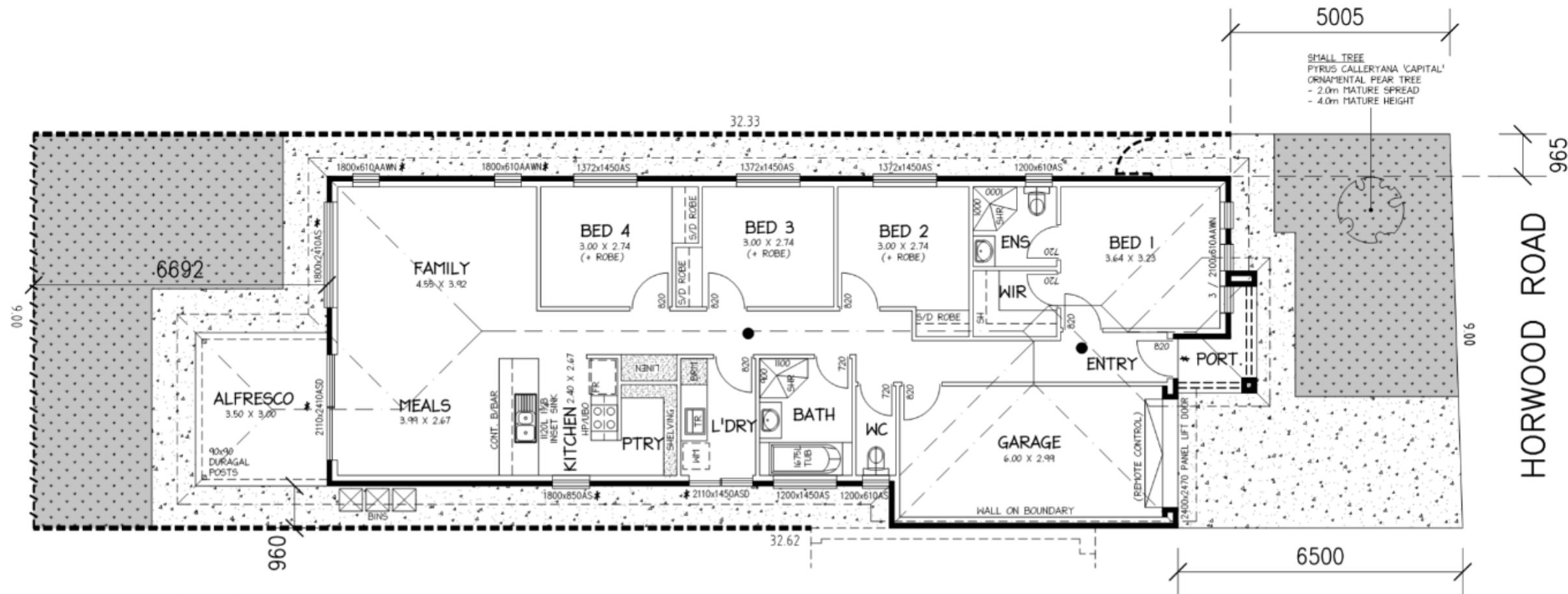
SHEET 2 OF 2		PROPOSED RESIDENCE FOR		AMENDMENT DATES		<div><div>●</div> DENOTES DIRECT WIRED SMOKE ALARM</div> <div><div>Ⓢ</div> DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING</div> <div>AAWN ALUM. AWNING</div> <div>TAWN TIMBER AWNING</div> <div>ASH ALUM. SINGLE HUNG</div> <div>TSH TIMBER SINGLE HUNG</div> <div>ADH ALUM. DOUBLE HUNG</div> <div>TDH TIMBER DOUBLE HUNG</div> <div>AF ALUM. FIXED SASH</div> <div>TF TIMBER FIXED SASH</div> <div>* BRICKWORK OVER OPENING</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</div> <div>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT</div> <div>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>	<div><div><div><div>R</div><div>Rossdale Homes</div><div>Residential Development</div></div><div><div>Plans prepared by:</div><div>Goostrey Smith Design</div><div>40/41 W. OSGOOD ST</div><div>302 GLEN OSMOND RD</div><div>FULLARTON, SA 5063</div><div>P: 08 8433 0888</div><div>www.goostreysmith.co</div></div></div><div><div>Rossdale Homes Pty. Ltd</div><div>ACN 007 936 727</div><div>Builders Licence No. G8104</div><div>300 GLEN OSMOND RD,</div><div>FULLARTON, SA 5063</div><div>Phone: 08 8433 2000</div><div>Fax: 08 8433 2099</div></div></div>
PLANNING APPLICATION		AT							
Job No. 22287SK		LOT 24							
DATE: 26.10.22	SCALE: 1:100	HORWOOD ROAD							
DRAWN: CR	JOB TYPE:	SALISBURY NORTH							
MASTER UPDATE:									
TYPE:									

Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation

Page 342
Council Assessment Panel Agenda - 26 April 2023



City of Salisbury

OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____
OWNER: _____ DATE: _____
OWNER: _____ DATE: _____



SITE DEVELOPMENT PLAN

TOTAL SITE AREA:	292 m ²
TOTAL SITE COVERAGE	55%
PRIVATE OPEN SPACE	60 m ²
CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 02.11.22 - OG 1.3.23 - CR	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. —REFER TO ENGINEERS REPORT	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	 <div>Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 68104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div>  <div>Plans prepared by: Gostrey Smith Design ABN 16 092 563 232 302 GLEN OSMOND RD, FULLARTON, SA 5063 p: 461 8 3338 6888 www.gostreydesign.com.au</div>
Job No. 22287SK							
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE: TYPE:		AT LOT 25 HORWOOD ROAD SALISBURY NORTH	AREAS m ² LIVING 127.34 PORTICO 3.16 ALFRESCO 10.50 GARAGE 20.80 TOTAL 161.80				

CONTRACT PLAN

DATE:

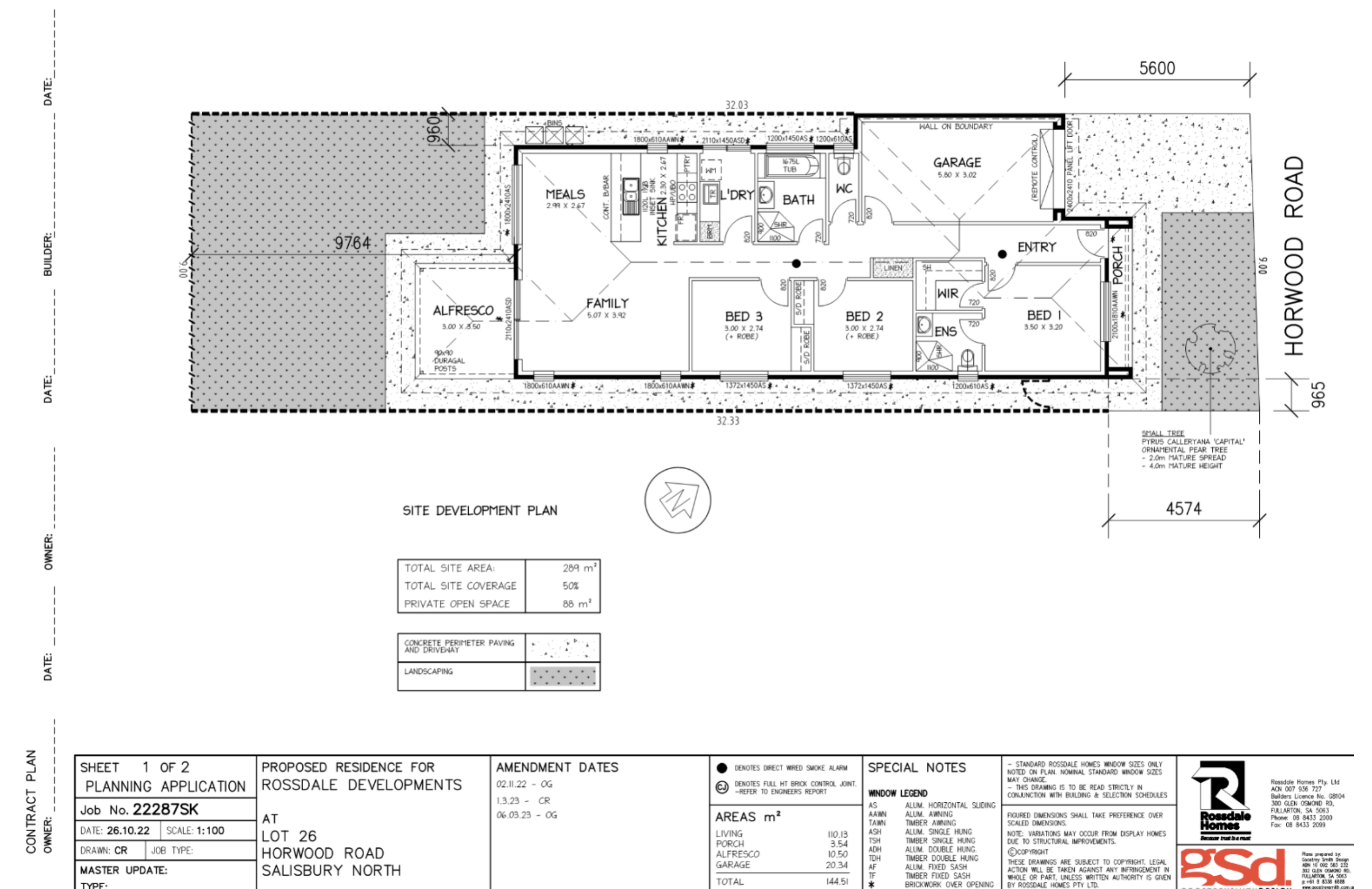
BUILDER:

DATE:

OWNER:

DATE:

<p>SHEET 2 OF 2 PLANNING APPLICATION</p>	<p>PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS</p>	<p>AMENDMENT DATES 02.11.22 - OG</p>	<p>● DENOTES DIRECT WIRED SMOKE ALARM ◉ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</p>	<p>SPECIAL NOTES</p>	<p>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</p>	<p>Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</p>
<p>Job No. 22287SK</p>	<p>AT LOT 25</p>			<p>WINDOW LEGEND</p>	<p>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</p>	
<p>DATE: 26.10.22 SCALE: 1:100</p>	<p>HORWOOD ROAD SALISBURY NORTH</p>		<p>AREAS m²</p>	<p>AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN ALUM. TAWN ASH ALUM. SINGLE HUNG TSH ALUM. SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH ALUM. DOUBLE HUNG AF ALUM. FIXED SASH TF ALUM. FIXED SASH * BRICKWORK OVER OPENING</p>	<p>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</p>	<p>gSd.</p>
<p>MASTER UPDATE: TYPE:</p>						<p>Plans prepared by: Gowdrey Smith Design ABN 16 062 583 23 302 GLEN OSMOND RD, FULLARTON, SA 5063 p+61 8 8330 4888 www.rossdalehomes.com.au</p>



DATE:

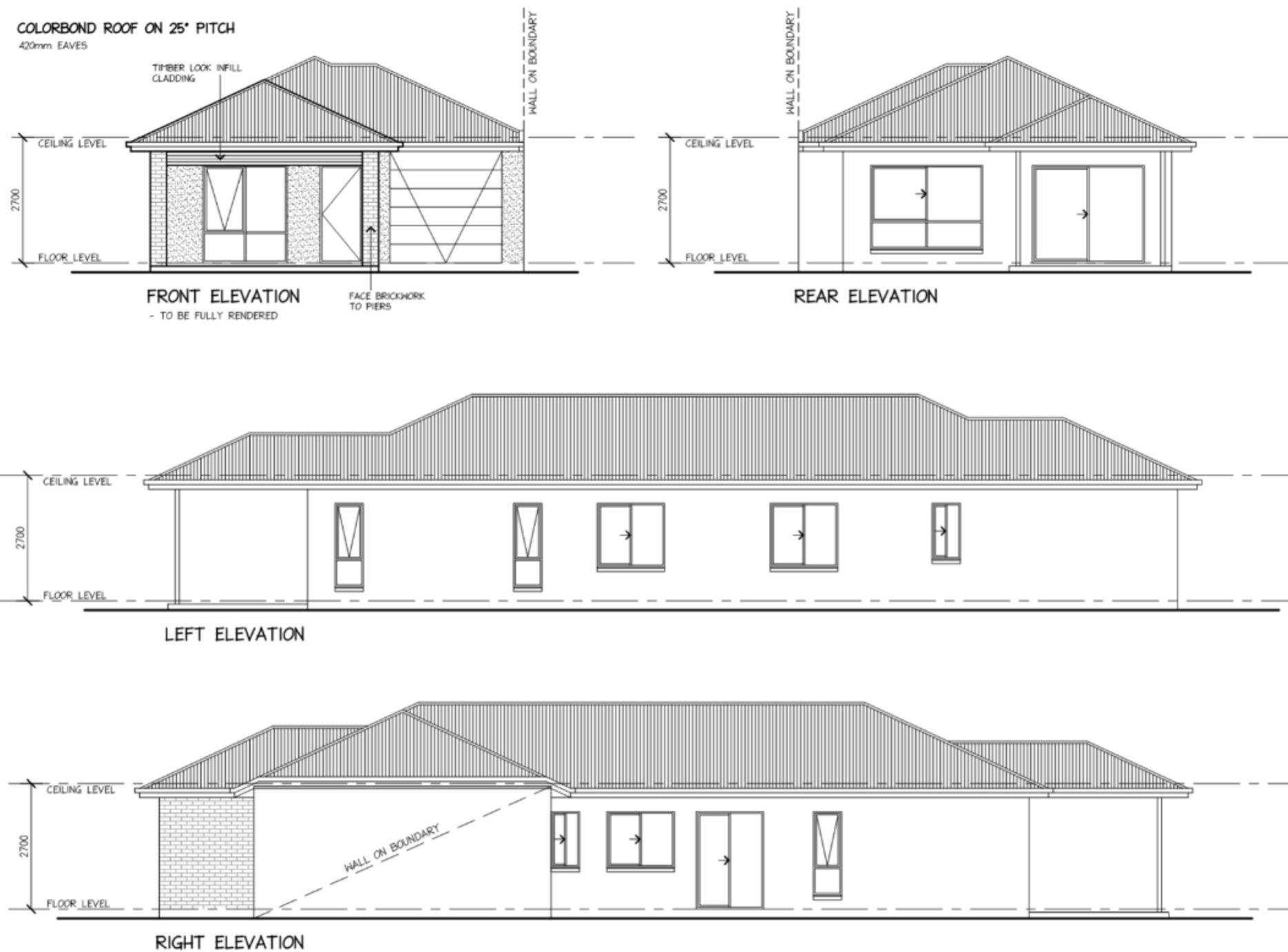
BUILDER:



DATE:

OWNER:

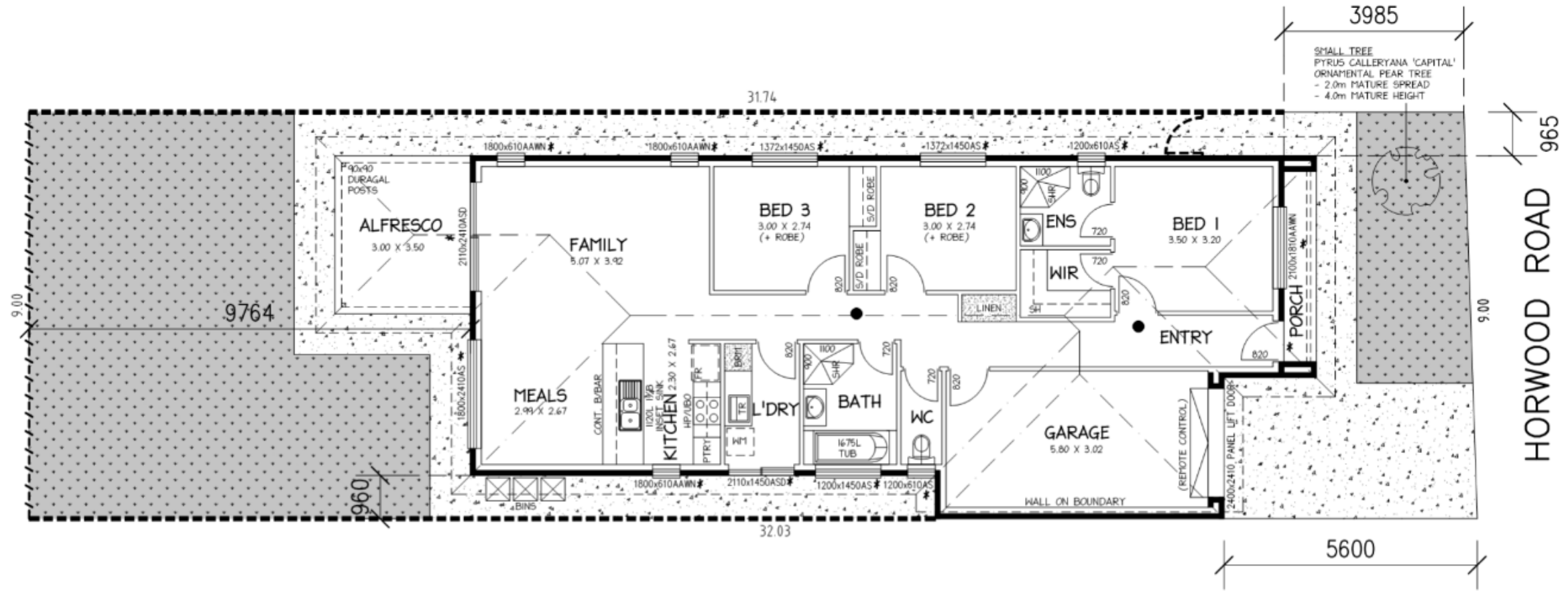
DATE:

OWNER:



SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES		● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES		 Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. CB104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099			
Job No. 22287SK		AT LOT 26 HORWOOD ROAD SALISBURY NORTH		02.11.22 - OG 1.3.23 - CR 06.03.23 - OG		AREAS m ²		WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING		- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		 GOSTREYSMITH DESIGN Plans prepared by: Gostrey Smith Design ABN 16 802 585 255 302 GLEN OSMOND RD, FULLARTON, SA 5063 P 141 8 8338 6888 www.gostreydesign.com.au	
DATE: 26.10.22	SCALE: 1:100									FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.			
DRAWN: CR	JOB TYPE:												
MASTER UPDATE: TYPE:													

OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____
OWNER: _____ DATE: _____
OWNER: _____ DATE: _____



SITE DEVELOPMENT PLAN



TOTAL SITE AREA:	287 m ²
TOTAL SITE COVERAGE	50%
PRIVATE OPEN SPACE	88 m ²

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2

PLANNING APPLICATION

Job No. 22287SK

DATE: 26.10.22 SCALE: 1:100

DRAWN: CR JOB TYPE:

MASTER UPDATE: TYPE:

PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS

AT LOT 27 HORWOOD ROAD SALISBURY NORTH

AMENDMENT DATES

02.11.22 - OG
1.3.23 - CR
06.03.23 - OG

● DENOTES DIRECT WIRED SMOKE ALARM
Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT

AREAS m²

LIVING 110.13
PORCH 3.54
ALFRESCO 10.50
GARAGE 20.34
TOTAL 144.51

SPECIAL NOTES

WINDOW LEGEND

AS ALUM. HORIZONTAL SLIDING
AAWN ALUM. AWNING
TAWN TIMBER AWNING
ASH ALUM. SINGLE HUNG
TSH TIMBER SINGLE HUNG
ADH ALUM. DOUBLE HUNG
TDH TIMBER DOUBLE HUNG
AF ALUM. FIXED SASH
TF TIMBER FIXED SASH
* BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.
NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.
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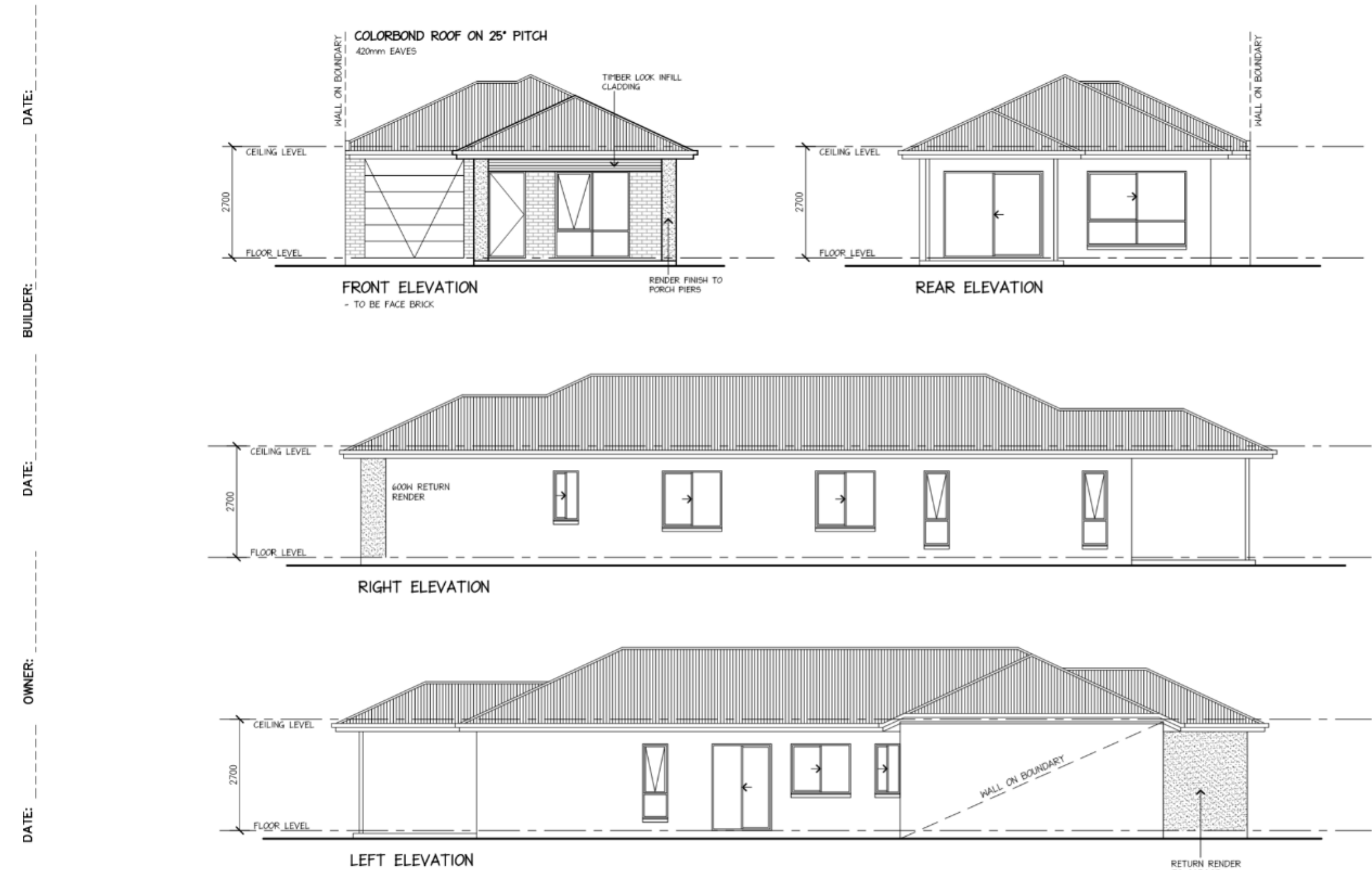
Rossdale Homes Pty. Ltd
ACN 007 936 727
Builders Licence No. G8104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: 08 8433 2000
Fax: 08 8433 2099



Plans prepared by
Gosdrey Smith Design
ACN 18 292 585 257
302 GLEN OSMOND RD,
FULLARTON, SA 5063
p: +61 8 8338 6000
www.gosdrey.com.au



Page 347
Council Assessment Panel Agenda - 26 April 2023

City of Salisbury

Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation



SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 27 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES 02.11.22 - OG 1.3.23 - CR 06.03.23 - OG	● DENOTES DIRECT WIRED SMOKE ALARM CJ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING TAWN ALUM. AWNING ASH TIMBER AWNING TSH ALUM. SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	 Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 68104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  Plans prepared by: Goskrey Smith Design ABN 16 592 505 232 302 GLEN OSMOND RD, FULLARTON, SA 5063 p:+61 8 8338 6388 www.goskreydesign.com.au
Job No. 22287SK				AREAS m²			
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE: TYPE:							

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 02.11.22 - OG 13.23 - CR		● DENOTES DIRECT WIRED SMOKE ALARM ☑ DENOTES FULL HT BRICK CONTROL JNKT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES	
Job No. 22287SK		AT LOT 28 HORWOOD ROAD SALISBURY NORTH				WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH		- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN	
DATE: 26.10.22	SCALE: 1:100					AREAS m ² LIVING 127.34 PORTICO 3.16 ALFRESCO 10.50 GARAGE 20.80		 Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. GS104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099	
DRAWN: CR	JOB TYPE:							 GSD Plans prepared by Gossling Smith Design 10/15 08/22 363 332 303 GLEN OSMOND RD	
MASTER UPDATE:									

OWNER:

DATE:

OWNER:

DATE:

BUILDER:

DATE:

BUILDER:

DATE:

COLORBOND ROOF ON 25° PITCH

420mm EAVES

300mm EAVES TO PORTICO

TIMBER LOOK INFILL CLADDING

CEILING LEVEL

2700

FLOOR LEVEL

FRONT ELEVATION

- TO BE FULLY RENDERED

FACE BRICKWORK TO PIERS

HALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

REAR ELEVATION

HALL ON BOUNDARY

CEILING LEVEL

2700

FLOOR LEVEL

LEFT ELEVATION

350W RETURN RENDER

TIMBER LOOK INFILL CLADDING

CEILING LEVEL

2700

FLOOR LEVEL

RIGHT ELEVATION

HALL ON BOUNDARY

<div>SHEET 2 OF 2</div> <div>PLANNING APPLICATION</div> <div>Job No. 22287SK</div> <div>DATE: 26.10.22</div> <div>SCALE: 1:100</div> <div>DRAWN: CR</div> <div>JOB TYPE:</div>	<div>PROPOSED RESIDENCE FOR</div> <div>ROSSDALE DEVELOPMENTS</div> <div>AT</div> <div>LOT 28</div> <div>HORWOOD ROAD</div>	<div>AMENDMENT DATES</div> <div>02.11.22 - OG</div>	<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING</div> <div>AAWN ALUM. AWNING</div> <div>TAWN TIMBER AWNING</div> <div>ASH ALUM. SINGLE HUNG</div> <div>TSH TIMBER SINGLE HUNG</div> <div>ADH ALUM. DOUBLE HUNG</div> <div>TDH TIMBER DOUBLE HUNG</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</div> <div>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT</div>	<div><div><div><div></div><div>Rossdale Homes</div><div>Because trust is a must</div></div><div><div>Rossdale Homes Pty. Ltd</div><div>ACN 007 936 727</div><div>Builders Licence No. 08104</div><div>300 GLEN OSMOND RD,</div><div>FULLARTON, SA 5063</div><div>Phone: 08 8433 2000</div><div>Fax: 08 8433 2099</div></div></div><div><div>Plans prepared by:</div><div>Architecture Studio Australia</div></div></div>
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Page 350
Council Assessment Panel Agenda - 26 April 2023

City of Salisbury

Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation

DATE: _____

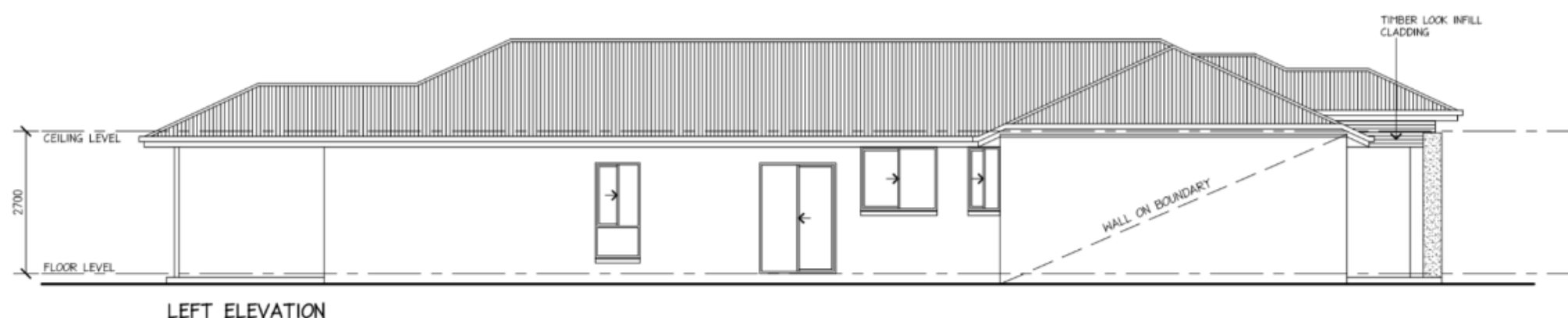
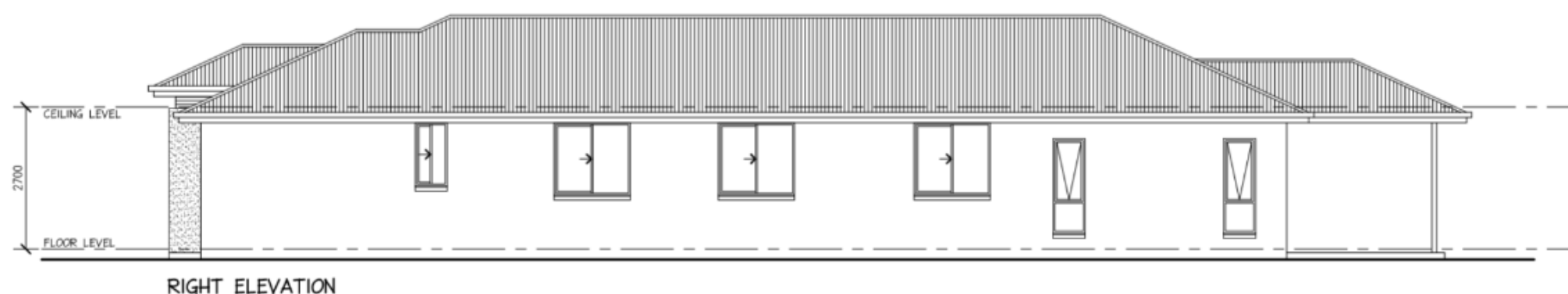
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SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES 02.11.22 - OG		<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>(CJ) DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div>		SPECIAL NOTES		<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div>		<div><div>Rossdale Homes Because trust is a must</div></div> <div>Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div>	
Job No. 22287SK		AT LOT 29 HORWOOD ROAD SALISBURY NORTH				AREAS m ²		WINDOW LEGEND		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.		©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL	
DATE: 26.10.22		SCALE: 1:100						AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH		NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.		Plans prepared by: Goodley Smith & Son ABN 16 092 583 2	
DRAWN: CR		JOB TYPE:											
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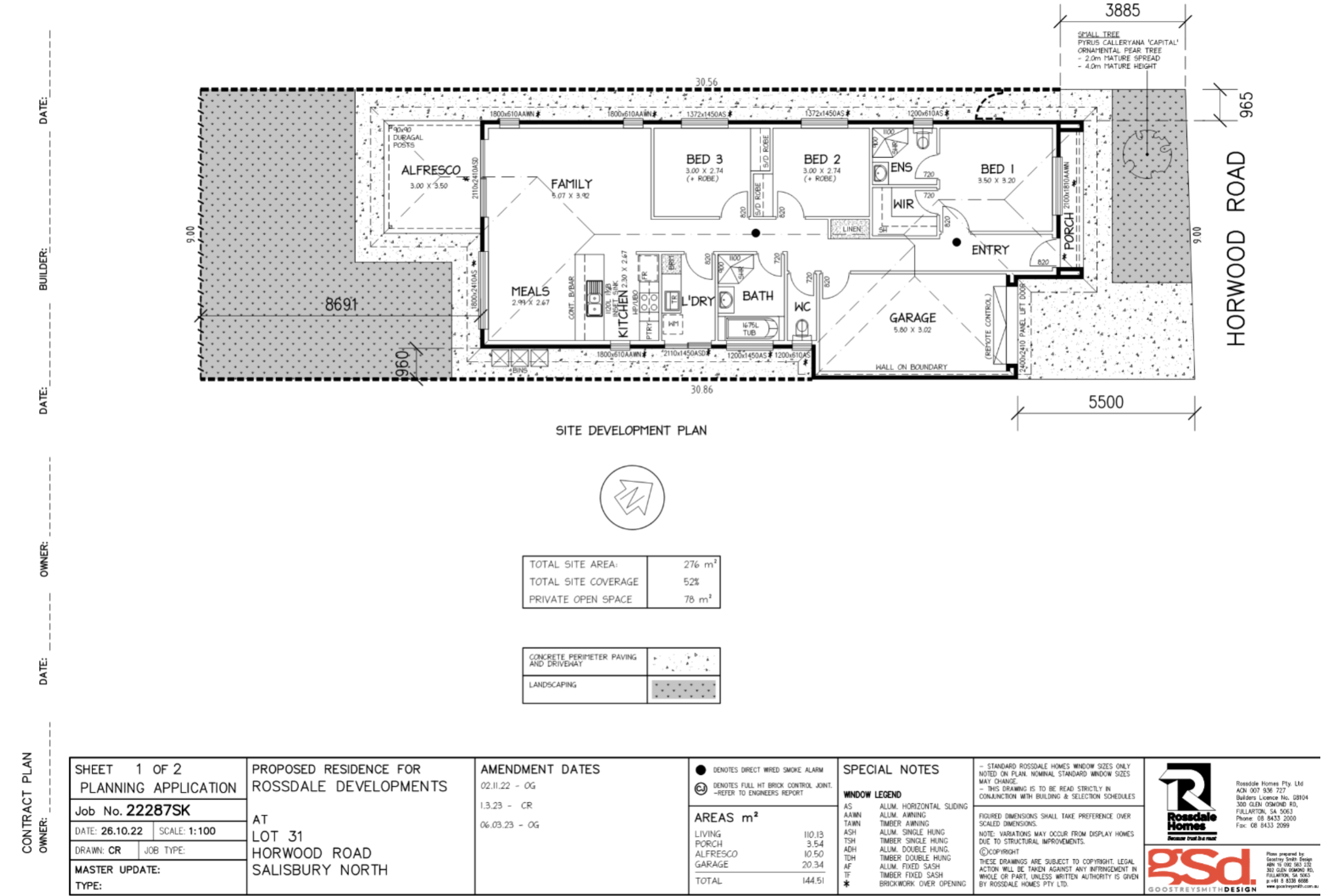
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SHEET 2 OF 2 PLANNING APPLICATION	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 02.11.22 - OG 1.3.23 - CR 06.03.23 - OG	<p>● DENOTES DIRECT WIRED SMOKE ALARM</p> <p>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. —REFER TO ENGINEERS REPORT</p> <p>AREAS m²</p>	<p>SPECIAL NOTES</p> <p>WINDOW LEGEND</p> <p>AS ALUM. HORIZONTAL SLIDING TAWN ALUM. AWNING ASH ALUM. SINGLE HUNG TSH ALUM. DOUBLE HUNG ADH ALUM. DOUBLE HUNG TDH ALUM. DOUBLE HUNG AF ALUM. FIXED SASH TF ALUM. FIXED SASH * BRICKWORK OVER OPENING</p>	<p>— STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</p> <p>— THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</p> <p>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</p> <p>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</p> <p>©COPYRIGHT</p> <p>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</p>	<div><p>Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 68104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</p></div> <div><p>Plans prepared by: Goostrey Smith Design ABN 16 092 503 235 302 GLEN OSMOND RD, FULLARTON, SA 5063 p +61 8 8338 6888 www.goostreyandsmith.com.au</p></div>
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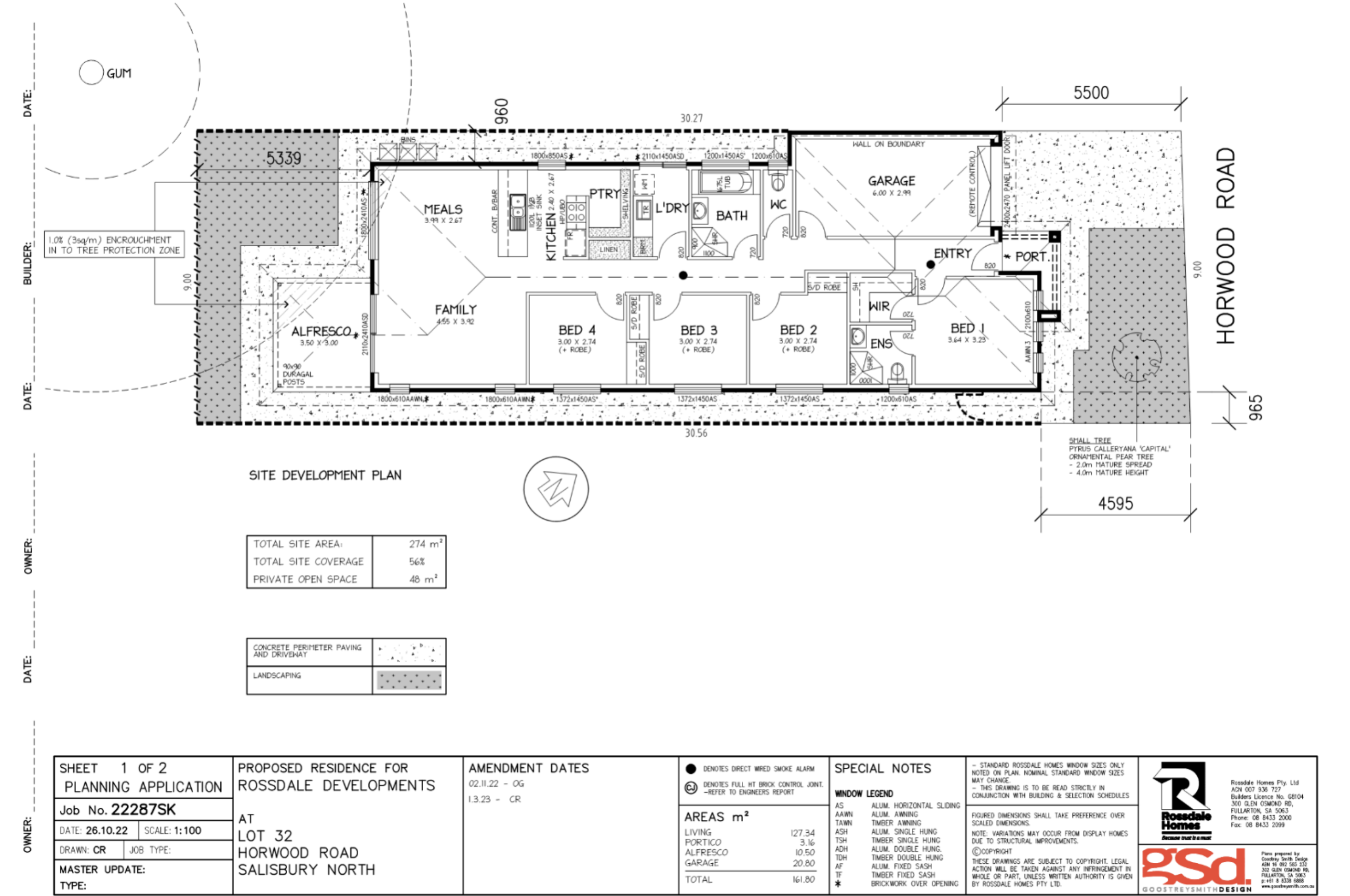
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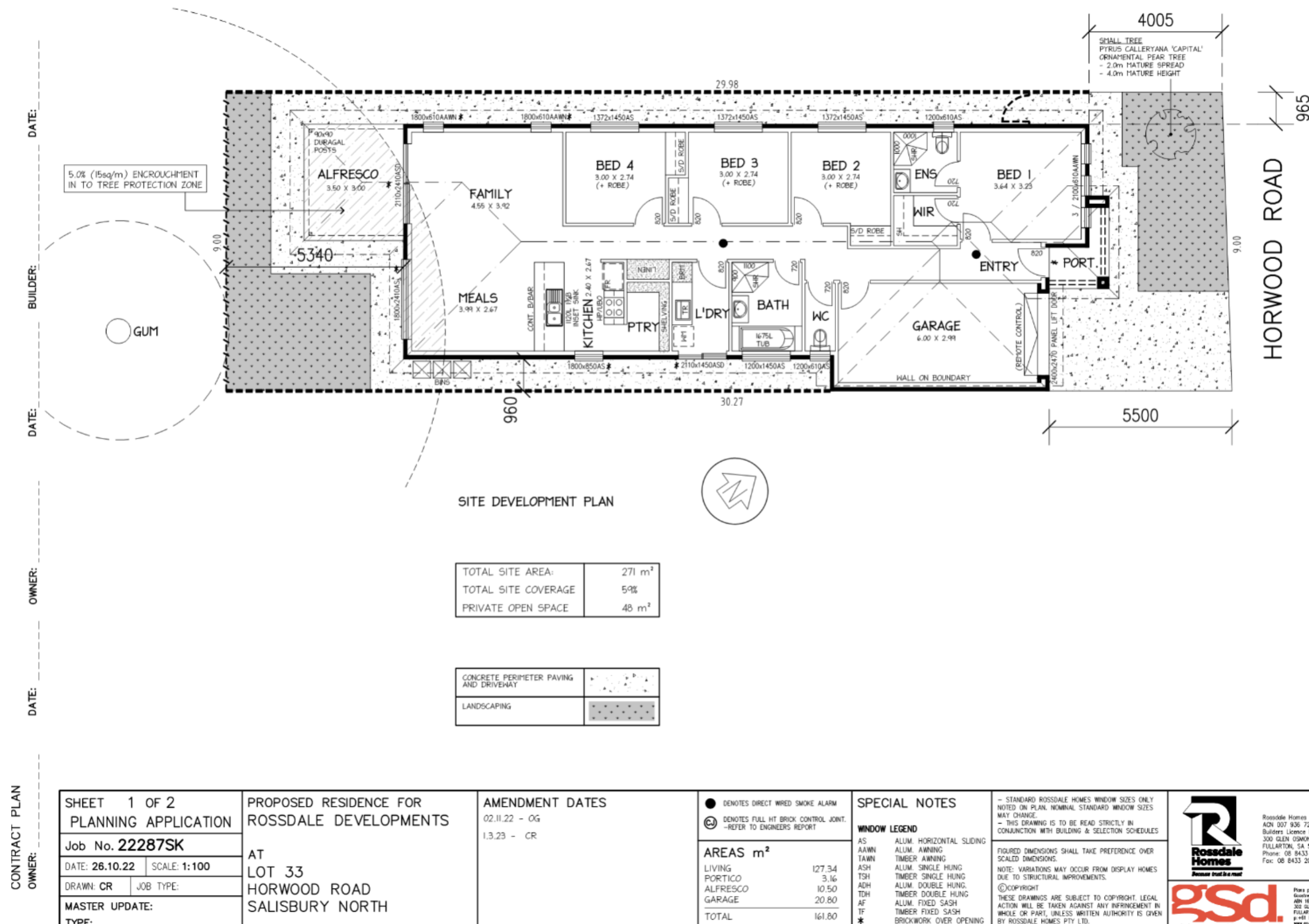
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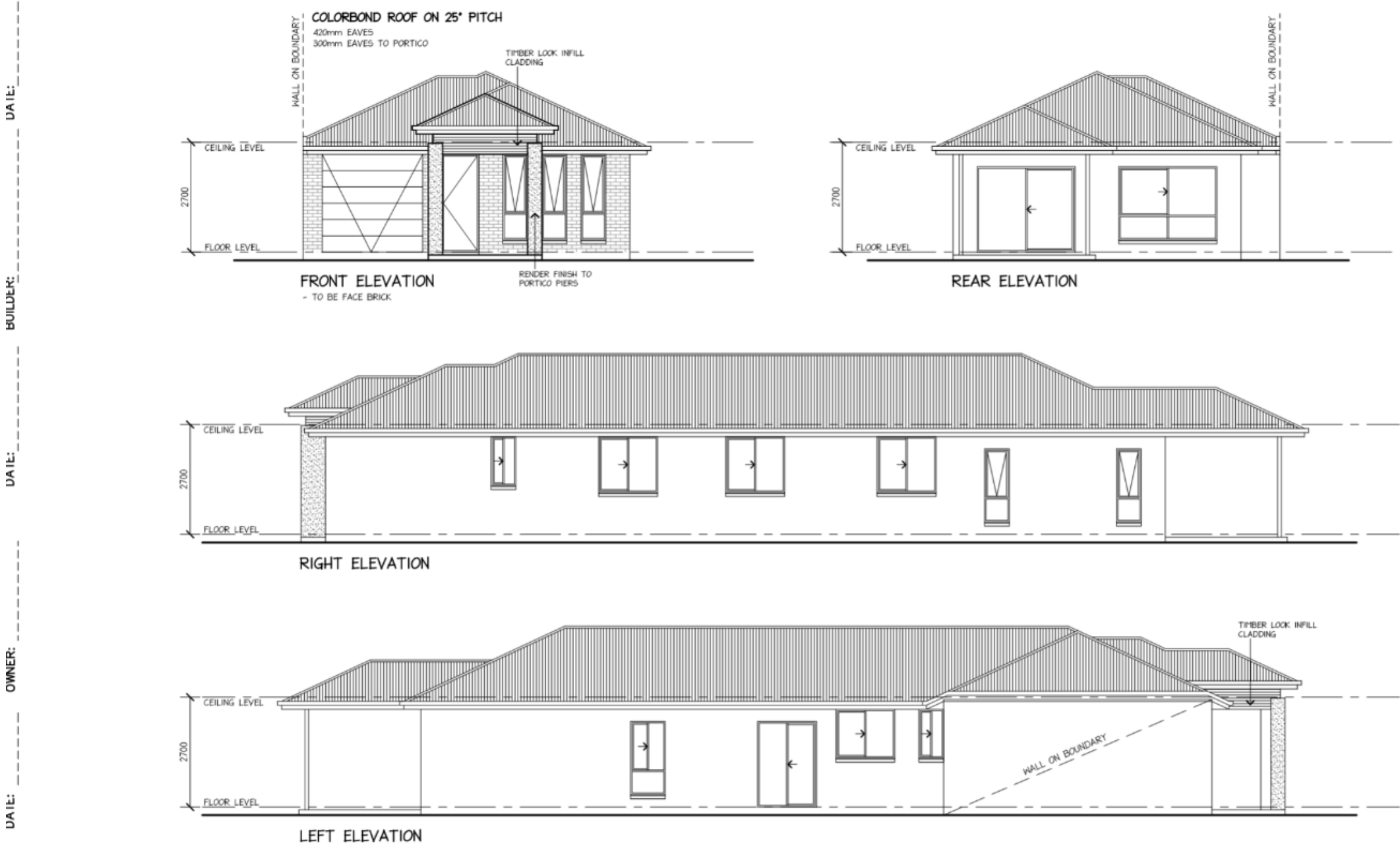
<div>SHEET 2 OF 2</div> <div>PLANNING APPLICATION</div> <div>Job No. 22287SK</div> <div>DATE: 26.10.22</div> <div>SCALE: 1:100</div> <div>DRAWN: CR</div> <div>JOB TYPE:</div> <div>MASTER UPDATE:</div> <div>TYPE:</div>	<div>PROPOSED RESIDENCE FOR</div> <div>ROSSDALE DEVELOPMENTS</div> <div>AT</div> <div>LOT 31</div> <div>HORWOOD ROAD</div> <div>SALISBURY NORTH</div>	<div>AMENDMENT DATES</div> <div>02.11.22 - OG</div> <div>1.3.23 - CR</div> <div>06.03.23 - OG</div>	<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING</div> <div>AAWN ALUM. AWNING</div> <div>TAWN TIMBER AWNING</div> <div>ASH ALUM. SINGLE HUNG</div> <div>TSH TIMBER SINGLE HUNG</div> <div>ADH ALUM. DOUBLE HUNG</div> <div>TDH TIMBER DOUBLE HUNG</div> <div>AF ALUM. FIXED SASH</div> <div>TF TIMBER FIXED SASH</div> <div>* BRICKWORK OVER OPENING</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.</div> <div>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.</div> <div>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT</div> <div>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>	<div></div> <div>Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div> <div></div> <div>Plans prepared by: Goostrey Smith Design ABN 16 002 583 232 202 GLEN OSMOND RD, FULLARTON, SA 5063 p:081 8 8336 6888 www.goostreysmith.com.au</div>
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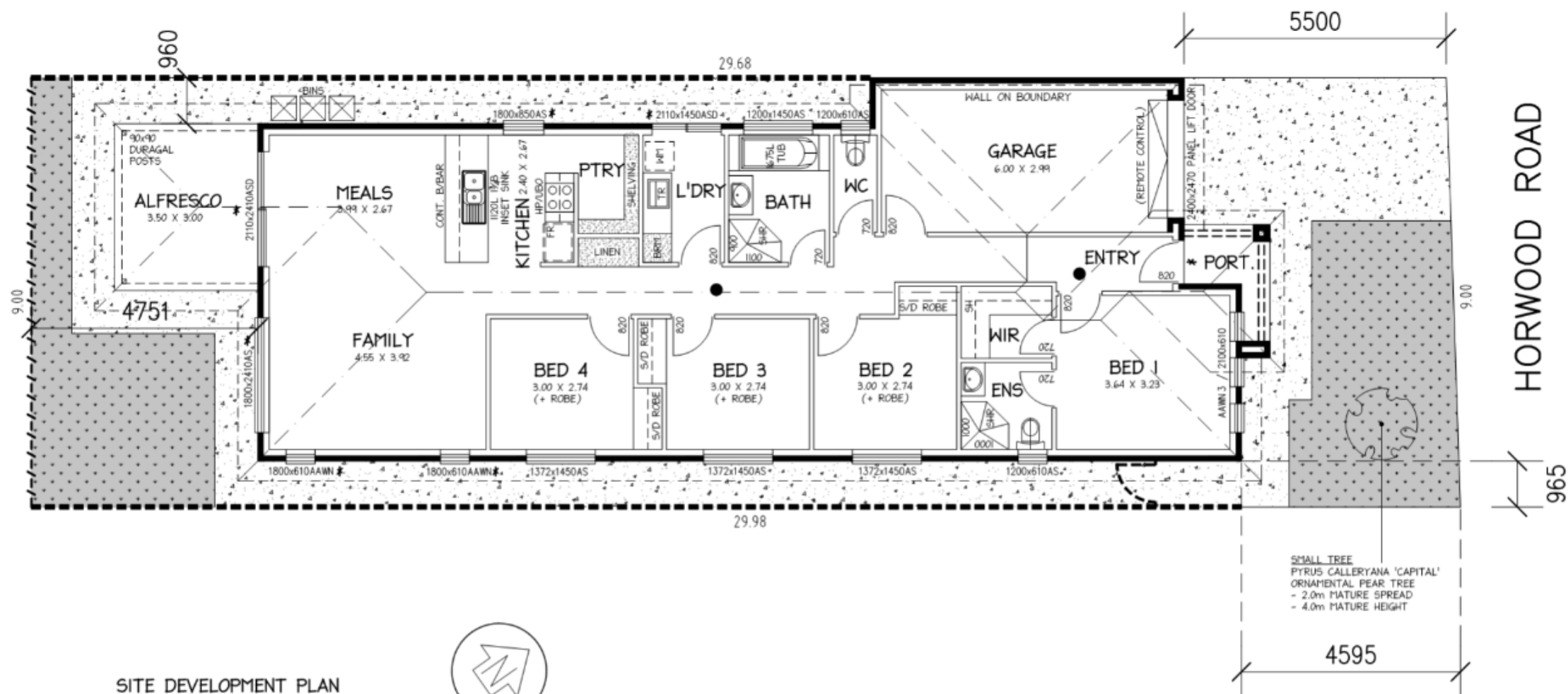
SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 32 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES 02.11.22 - OG	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT AREAS m ²	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	 Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  GOOSTREYSMITH DESIGN Plans prepared by: Goostrey Smith Design ABN 16 092 563 232 302 GLEN OSMOND RD, FULLARTON, SA 5063 p: +61 8 8338 6886 www.goostreysmith.com.au
Job No. 22287SK							
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE: TYPE:							





SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS	AMENDMENT DATES 02.11.22 - OG	● DENOTES DIRECT WIRED SMOKE ALARM Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN	 Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  Plans prepared by: Geoffrey Smith Design ABN 16 062 583 232 302 GLEN OSMOND RD, FULLARTON, SA 5063 cc +61 8 8538 6808
Job No. 22287SK							
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE:		AT LOT 33 HORWOOD ROAD SALISBURY NORTH		AREAS m ²			

OWNER: _____ DATE: _____ OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____



CONTRACT PLAN

DATE:

BUILDER:

DATE:

OWNER:

DATE:

OWNER:

COLORBOND ROOF ON 25° PITCH
420mm EAVES
300mm EAVES TO PORTICO

The front elevation shows a single-story house with a gabled roof. The central entrance features a small portico supported by two square piers. To the left of the entrance are three windows, and to the right is a large window. A vertical dashed line indicates the wall on boundary. Labels include 'TIMBER LOOK INFILL CLADDING' pointing to the roofline, 'CEILING LEVEL' and 'FLOOR LEVEL' dimension lines, and 'FACE BRICKWORK TO PIERS' pointing to the base of the entrance piers.

FRONT ELEVATION
- TO BE FULLY RENDERED

The rear elevation shows a simple rectangular building with a gabled roof. It has a double door at the center and a large window to the right. A vertical dashed line indicates the wall on boundary. Labels include 'CEILING LEVEL' and 'FLOOR LEVEL' dimension lines.

REAR ELEVATION

The left elevation shows a long, low profile of the house with a series of windows along its side. A vertical dashed line indicates the wall on boundary. Labels include 'CEILING LEVEL' and 'FLOOR LEVEL' dimension lines, and '350W RETURN RENDER' pointing to a brickwork section on the right.

LEFT ELEVATION

The right elevation shows another long, low profile of the house from the opposite side. It includes a double door and several windows. A diagonal dashed line indicates the wall on boundary. Labels include 'CEILING LEVEL' and 'FLOOR LEVEL' dimension lines, and 'TIMBER LOOK INFILL CLADDING' pointing to the roofline.

RIGHT ELEVATION

SHEET 2 OF 2
PLANNING APPLICATION

Job No. **22287SK**

DATE: **26.10.22** SCALE: **1:100**

DRAWN: **CR** JOB TYPE:

MASTER UPDATE:

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 34
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES
02.11.22 - OG

- DENOTES DIRECT WIRE SMOKE ALARM
- Ⓢ DENOTES FULL HT BRICK CONTROL JOINT.
—REFER TO ENGINEERS REPORT

AREAS m²

SPECIAL NOTES

WINDOW LEGEND

AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH

— STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
— THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

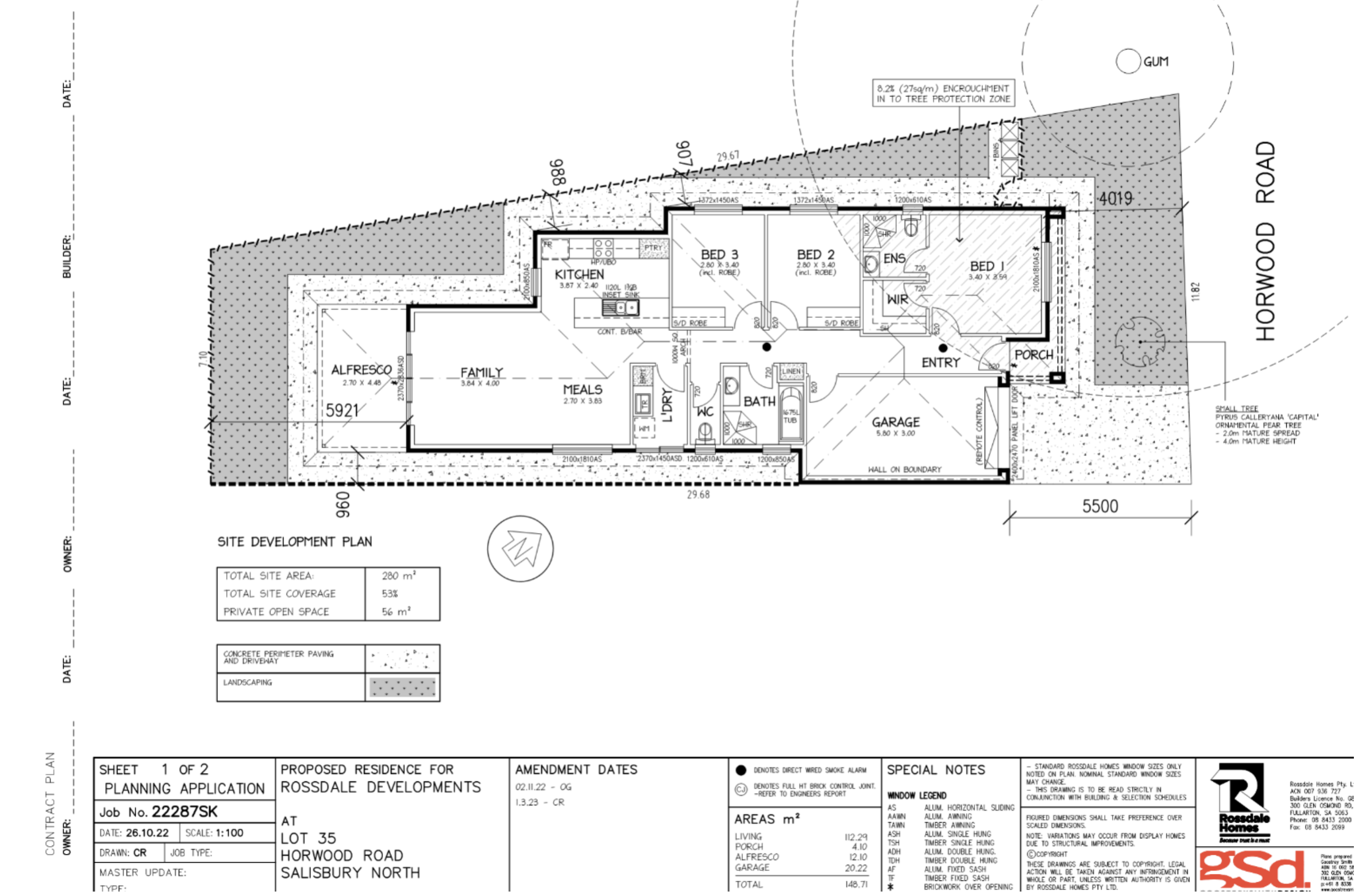
NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.

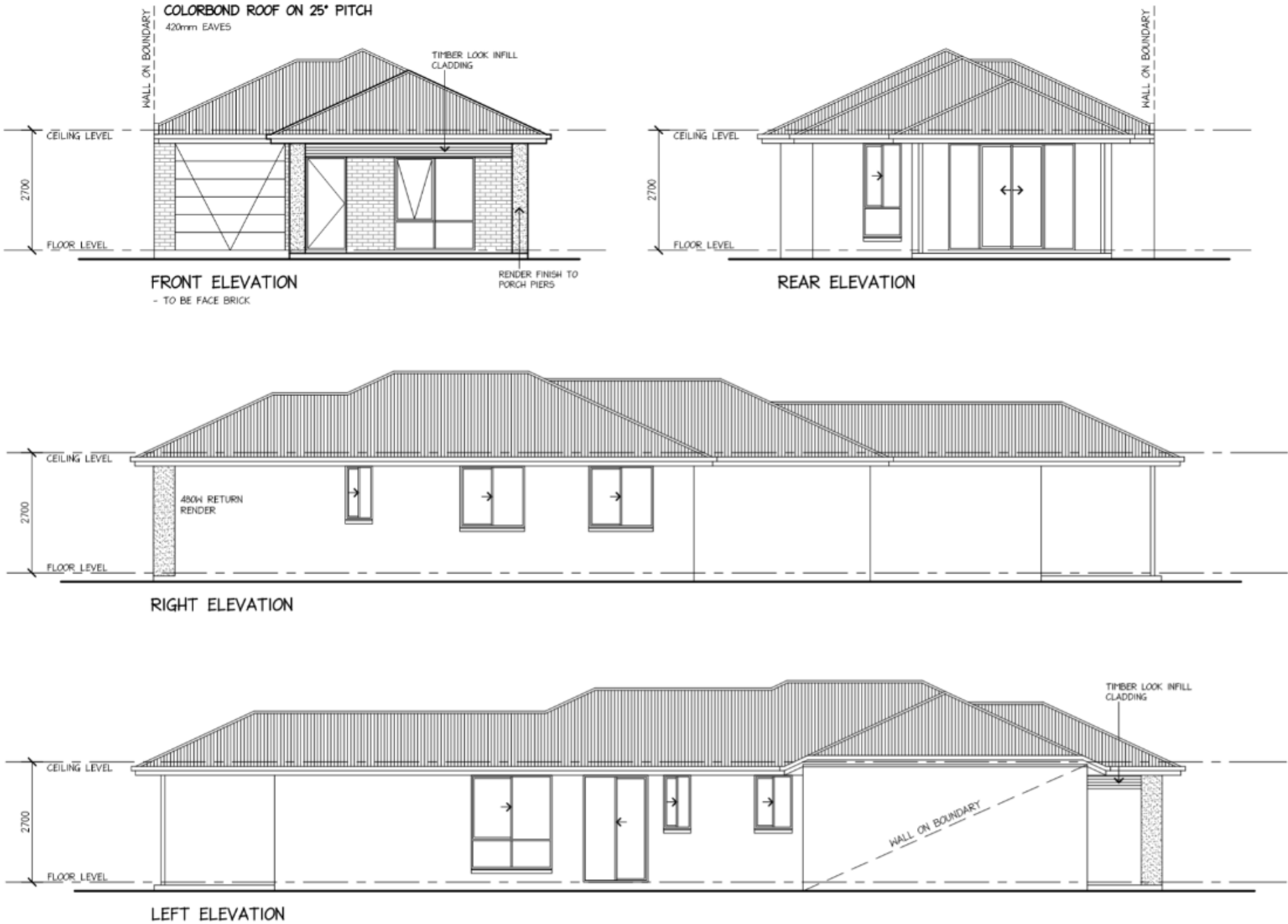
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Rossdale Homes Pty. Ltd
ACN 007 936 727
Builders Licence No. GB104
300 GLEN OSMOND RD.,
FULLARTON, SA 5063
Phone: 08 8433 2000
Fax: 08 8433 2099

Plans prepared by:
Gosford Smith Design
ABN 16 092 583 212
312 GLEN OSMOND RD.
FULLARTON, SA 5063





SHEET 2 OF 2 PLANNING APPLICATION Job No. 22287SK DATE: 26.10.22 SCALE: 1:100 DRAWN: CR JOB TYPE: LATEST UPDATE: DPE:	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 35 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES 02.11.22 - OG	● DENOTES DIRECT WIRE SMOKE ALARM (CJ) DENOTES FULL HT BRICK CONTROL JOINT. —REFER TO ENGINEERS REPORT AREAS m ²	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	— STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. — THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	 Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099  GOOSTREY SMITH DESIGN Plans prepared by: Goostrey Smith Design 4011 161 162 163 164 302 GLEN OSMOND RD, FULLARTON, SA 5063 p: 08 8433 2000 www.goostrey-smith.com.au

06-03-23



Offset tree planting proposal

Lake Windermere - Development Applications - Request for Further Information

Offset tree planting is required at the rate of 2 trees per Regulated Tree and 3 trees per Significant Tree to be removed (currently 33 trees total). These are over and above trees to be delivered with the individual dwellings and street tree planting. Please explain the intended tree offset strategy, noting there may be opportunities to conduct offset planting within the Council Reserve – through negotiation and consultation with our Natural Assets Section.

Dear Chris

In relation to the above question, I have spoken with Jamie Hosking (Team Leader Urban Built Assets Infrastructure Management) who confirmed he would be happy with an offset planting strategy within the Lake Windemere reserve. We are proposing that 7 additional trees will need to be planted making a total of 40, given the required removal of 1 additional significant tree (tree 97) and 2 additional regulated trees (trees 16 and 95) given the required site levels. We propose the following:

- 40 new trees (300mm pots) to be planted within the Lake Windemere reserve.
- The species of these tree to be confirmed by council.
- Location plan attached, this is indicative only and is to be confirmed by council on site.
- Trees to be planted at the same time as the street trees within the development site.
- Trees to be maintained and watered for a period of 12 months after planting.

Yours sincerely,

Daniel French

0411 275 210

dfrench@rossdalahomes.com.au



Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation

2 Stormwater Objectives & Strategies

2.1 Stormwater Objectives

This report will detail the extend of the stormwater collected on the subject site and demonstrate how it will be directed and discharged via the drainage network, while considering stormwater quality management and Water Sensitive Urban Design (WSUD) elements.

2.2 Stormwater Management

2.2.1 Underground Drainage System

The stormwater system will consist of, side entry pits (SEP), grated sumps (GS), reinforced concrete pipes (RCP), junction boxes (JB) and headwalls (HW) to convey the site runoff, all installed and specified in accordance with council requirements.

2.2.2 During Construction Controls

Temporary basins to collect runoff and sediment will be implemented during construction to control runoff and erosion in the site, and nearby areas. Along side these basins, silt fences, hay bail barriers and shaker pads for machinery will be used. A sedimentation control plan will be submitted to council during the detailed design phase for comment and approval.

2.2.3 Site Flooding

The adjacent Lake Windemere floods in the 1:100yr event, which causing spilling above the 16.65 level. This means that the subject development will experience localised flooding within the road reserve. A high point has been provided at the norther end of the main road, just south of the bend, providing a barrier to prevent the water from entering the school oval to the north. As the lake spills, the roadway will contain water, and then subsequently drains to the lake via pit and pipe system as the lake level subsides.

The community title driveway slopes away from the above-mentioned high point, and flows north east to a grated sump which translated minor flows back to the pit and pipe system, and ultimately into the lake. Major flows however will breach the kerb at the grated sump and convey via a swale to Holstein Road. This method minimises the retaining along the school boundary, as well as the general earthworks impact to the surrounding reserve.

The dwellings have been designed to be at a minimum floor level of 17.15 to minimise the impact of this flooding.

2.3 Stormwater Management Plan (SMP)

The stormwater management plan submitted with this report has been prepared to illustrate the overall intent with regards to stormwater collection, detention, and discharge, in accordance with the council requirements for the site. The layout is the intended design

2.4 Water Sensitive Urban Design (WSUD)

Water quality management will take the form of a gross pollutant trap (GPT) and litter baskets in the side entry pits at the minimum, with other likely measures added to meet the EPA & council requirements listed below. MUSIC software will be used to model the stormwater quality, and determine the devices and systems required to meet the EPA & council targets.

EPA/Council design requirements for stormwater quality are:

- 90% reduction is Gross Pollutants (GP) from typical urban pollutant load
- 80% reduction in Total Suspended Solids (TSS) from typical urban pollutant load
- 60% reduction in Total Phosphorous (TP) from typical urban pollutant load



- 45% reduction in Total Nitrogen (TN) from typical urban pollutant load.

3 Stormwater Modelling & Analysis

3.1 Drains

A drains model was used to determine the approximate pre and post development flows from the site. These flows detailed in the below sections were taking using 95% grass/landscaping for the pre-development flows, and 70% paved/30% grass for the post-development sites. The drains model has been included as part of this submission.

3.2 Pre-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	67 L/s	560 L/s
Horwood Development	13 L/s	142 L/s
Combined Development	80 L/s	702 L/s

3.3 Post-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	401 L/s	1,276 L/s
Horwood Development	178 L/s	272 L/s
Combined Development	579 L/s	1,548 L/s

4 Conclusion

The proposed site once developed will utilise a pie and pipe network, designed to cater for the minor and major storm events, to convey stormwater runoff from the allotments and road reserves. This pit and pipe network will be contained within the road reserve, before discharging through the reserve and into Lake Windemere.

The stormwater management plan has been developed and designed with advice from the City of Salisbury Council in order so deliver the abovementioned stormwater system. Detention for the stormwater is not required for this site due to the proximity to Lake Windemere which itself is a detention basin. The development will implement WSUD techniques to treat runoff stormwater to meet council and EPA requirements

Tree Impact Assessment at Lake Windemere Salisbury North



Prepared for:

Daniel French
Specialist Property Consultant
Rossdale Homes
300 Glen Osmond Road
Fullarton SA 5063

06 April 2023

Prepared by:

Martin Ely
Consulting Arborist
B Arch, Dip Hort Arb (Level V)
Tidemark Design
PO Box 566 Walkerville SA 5081
0407 809 984
martin-ely@hotmail.com

Tree Assessment at Lake Windemere, Salisbury North

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Tree Assessment at Lake Windemere, Salisbury North

Introduction

I carried out a survey of 31 regulated and significant trees in the NE corner of the Lake Windemere site at Salisbury North on the 19 July 2017 on behalf of Tree Environs Pty Ltd for the City of Salisbury. These trees are located in or adjacent to a project boundary area defined by Council. I also surveyed another 11 trees in the adjacent Lake Windemere school site, to identify potential development impacts on the trees. The purpose of the survey was to identify regulated/significant trees, tree condition, tree protection zone areas, tree retention value and to provide guidelines to the design team to preserve trees to be retained on site in relation to a proposed residential development at the site where possible.

I carried out a second survey of the trees the 12 August 2021 following a request from Stewart Tremaine, Project Manager, Strategic Development Projects at the City of Salisbury. The purpose of the survey was to provide an update on current legal status of the trees, tree condition, retention values and tree protection zones. A tree report was subsequently issued dated 13 August 2021.

In November 2023 I carried out a development impact assessment of a proposal for part of the site by a joint venture between Rossdale Homes and the City of Salisbury. I was requested to advise on tree retention/removal and to assess potential impacts on trees to be retained on the site. A tree development report was subsequently issued dated 16/11/22.

Subsequently the bulk earthworks plan for the site required modification to meet the 100-year storm/flood event requirements potentially impacting further on some site trees and on trees in the adjacent school site. An addendum to the original report was issued dated 10/03/23, aimed at assessing these impacts and providing additional advice on measures to protect the trees. This report comprises a consolidation of the original report and addendum including updated information on proposed tree removals and retention.

Documents and information provided

We were provided with the following documents to assist us in the preparation of this report;

- *Tree Survey at Lake Windemere Salisbury North* by Martin Ely dated 13 August 2021.
- Current development proposal drawings by Rossdale Homes including.
 - Allotment plan.
 - Allotment plan showing existing trees.
 - Allotment plan showing trees to be retained.
 - Bulk earthworks/civil/levels plan.
 - Schematic/road design.
 - Site plan showing house design.
 - House designs which encroach into a TPZ.

Tree Assessment at Lake Windemere, Salisbury North

Observations

Site description

The general site comprises the north-eastern portion of the area surrounding 'Lake Windemere', and the former Salisbury North Community Centre (now demolished). Please refer to aerial photo below showing the project boundary as defined by Council. The site is bounded: to the north by the Salisbury North school site and residential allotments along Horwood Road; to the east by Hissar Avenue; to the south by a community playground; and to the west by Lake Windemere and surrounds.



The site is characterized by the landscaped surrounds of an artificial lake known as Lake Windemere and the now vacant Community Centre site. The area around Lake Windemere has been extensively landscaped in the past with lawns, walking paths and planting of native tree species (including River Red Gum, SA Blue Gum, Gum Barked Coolibah and Port Broughton).

Tree Assessment at Lake Windemere, Salisbury North

Wattles). Site levels have also been extensively modified with excavation for the lake, site fill and earth mounding along the site boundaries. The areas of earth mounding have been intensively planted with native tree species.



Photo showing Lake Windemere

Tree Assessment at Lake Windemere, Salisbury North



Photo showing former Community Centre site.



Photo showing earth mounding adjacent to school site.

Tree Assessment at Lake Windemere, Salisbury North

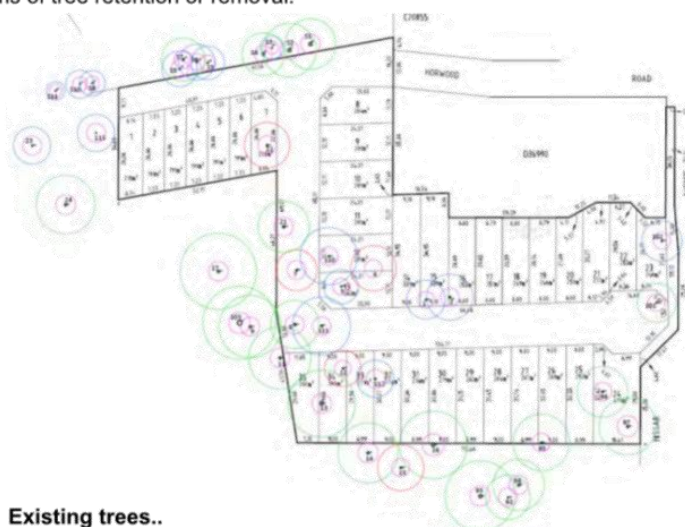
Tree data

A total of 31 regulated and significant trees were originally surveyed in the defined project area. An additional 11 trees were surveyed in the adjacent Lake Windemere School site.

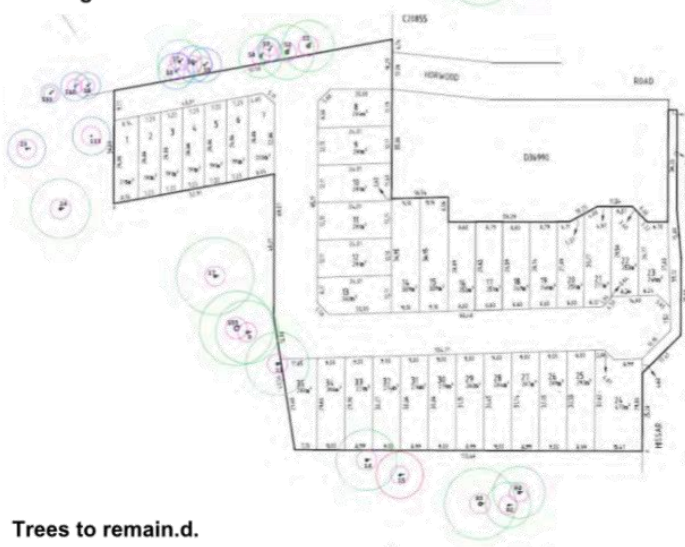
The data collected on the trees within the project area is compiled in a Tree Survey table attached at the end of the report. Data on the trees within the school site is compiled in a separate Tree Survey table attached at the end of the report. The following information is provided in the Tree Survey data table.

- Tree species.
- Legal status.
- Tree health.
- Tree structure.
- Tree Protection Zone (TPZ) radius.
- Structural Root Zone (SRZ) radius.
- Retention value.

Another column has now been added to the table indicating the proposed action in relation to each tree in terms of tree retention or removal.



Existing trees..



Trees to remain.d.

Tree Assessment at Lake Windemere, Salisbury North

Legal status

A breakdown of the trunk circumference on site is as follows.

- There are 26 trees with a trunk circumference between 1.0 and 2.0m and qualify as regulated trees.
- There are 5 trees with a trunk circumference of 3m or greater and qualify as significant trees.

Tree health/vigour

The majority of trees on site exhibit average to good health and vigour. Two trees could be considered for removal on the basis of poor health (Trees 12 and 22). These trees exhibit crown dieback or diseases to the trunk and are considered to have a relatively short life expectancy.

Tree structure

The majority of trees on site have average to good general structure. Five trees could be considered for removal on the basis of poor structure (Trees 4,7,12,15 and 22). These trees exhibit a history of branch failure or are multi-stemmed trees with bark inclusions in the base.

Retention value

18 of the larger locally indigenous River Red Gums that qualify as regulated or significant trees and that do not pose an elevated risk to the users of the site were given a high retention rating value in the original survey. This is in recognition of the importance of their ecological and environmental benefits over and above all other species surveyed. These trees have a higher habitat value, well over and above Australian native and exotic trees. Every effort should be made to preserve these trees and to seek alternative design options to achieve this.

8 trees were identified as having medium retention value. These are other native in acceptable condition that they should be retained where possible. None of these trees have been specifically recommended for removal, and should only be removed where no alternative exists.

5 trees have been identified as having a low retention value (trees 4, 7,12,15 and 22). These are native trees with poor structure or reduced vigour. These trees could be considered for removal on the basis of risk or short life expectancy.

School trees

11 of the larger trees on the school site in close proximity to the site boundary were assessed. Trees were given a number from S1-S9. The data collected on the trees is compiled in a Tree Survey attached at the end of the report.

- There are two trees with a trunk circumference of 3m or greater which qualify as a significant tree.
- There is one tree with a trunk circumference between 1.0 and 2.0m which qualifies as a regulated tree.
- There is one tree with a trunk circumference of just under 2.0m which is likely to qualify as a regulated tree in the next few years.

Tree Assessment at Lake Windemere, Salisbury North



Photo showing school trees in relation to site boundary.

Proposed development activities

Based on the drawings provided, the following is proposed.

- Subdivision of the site into 35 new allotments.
- New dwellings and associated paving, fencing and landscaping.
- New roadway formed by the extension of Horwood Avenue into the site.
- New community title driveway adjacent to school site shown as permeable block paving.
- Bulk earthworks including cut in the northern and western parts of site to remove the existing mounding (0- 2m approx.) and fill in the eastern part of site (0-1m approx.).
- New stormwater outfall to the lake.
- Removal of 19 existing regulated or significant trees.
- Retention of 12 existing regulated or significant trees.

I was advised that various versions of lot layout and road design were discussed with Council's Planning, Infrastructure and Asset Management Teams who agreed that the current plan best achieves their desired objective to retain as many trees as possible (especially high value trees) while still allowing for the reasonable development of the land.

Tree Assessment at Lake Windemere, Salisbury North



Tree Assessment at Lake Windemere, Salisbury North



Tree Assessment at Lake Windemere, Salisbury North

Appraisal

Tree retention/removal

The tables below summarize tree removals and retention under the current proposal.

Table showing proposed actions by tree ID no.

Retention value	Proposed action		
	To be removed		To be retained
Low	4, 7, 12, 22		15
Medium	1, 2, 5, 102, 110, 112		23, 113
High	8, 13, 1, 21, 5, 96, 7, 101, 111		9, 11, 14, 17, 24, 92, 93, 94, 103

Table 2 showing proposed actions (by numbers)

Retention value	Proposed action		
	To be removed		To be retained
Low	4		1
Medium	6		2
High	9		9
	19		12

A total of 19 trees are proposed for removal. Five of these are located on the footprint of the proposed roadway and would not be viable under the current design. Fourteen trees require removal as they are located on the footprints of the proposed dwellings, or will be impacted by the proposed bulk earthworks.

A total of 12 trees are to be retained.

Of the trees to be removed, four are low retention value, six are medium retention value and nine are high retention value trees.

Of the trees to be retained, one is low retention value, two are medium retention value and nine are high retention value.

Of the five significant trees on the site, one (tree 8) is to be removed for the new roadway, one is to be removed from within proposed lot 24 (tree 97) and three are to be retained.

It is evident that, while a number of trees require removal to facilitate the proposed development, there has been an effort to retain a large number of significant and high retention value trees.

Application could be made to remove trees 4, 7, 12 and 22 on the grounds of poor health or structure, as follows.

Tree Assessment at Lake Windemere, Salisbury North

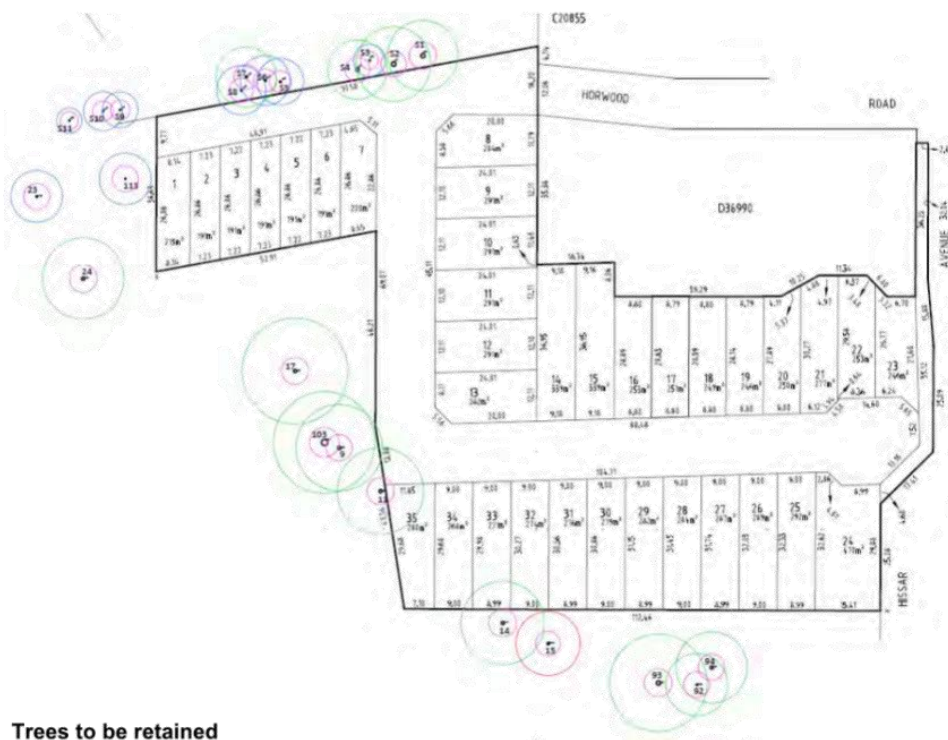
a) tree damaging activity is only undertaken to:

- I. remove a diseased tree where its life expectancy is short
- II. mitigate an unacceptable risk to public or private safety due to limb drop or the like

Application for the removal of the other trees could be made on the following grounds.

- a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible.
- b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree damaging activity occurring.

The case for 'reasonable development' will be the subject of further assessment by the relevant planning authority.



Trees to be retained

Tree Assessment at Lake Windemere, Salisbury North

Tree protection zones

All parts of the tree, including its root system, trunk and crown, may be damaged by development and construction activities if tree protection measures are not implemented. Damage to any one part of the tree may affect its functioning as a whole.

Any development activities in the vicinity of trees to be retained on the site should consider their root systems, and the area required for general tree health (tree protection zone) and tree stability (structural root zone). The Australian Standard AS 4970 – 2009 *Protection of trees on development sites* provides guidance on how to best carry out such works.

Under AS4970-2009 the Tree Protection Zone (TPZ) is the principal means of protecting trees on development sites. The TPZ is a combination of the root area and crown area requiring protection. It is an area isolated from construction disturbance so that the tree remains viable. The radius of a tree's TPZ is calculated by multiplying its DBH (Diameter at Breast Height) by 12. The TPZ is to be observed in a symmetrical manner with the tree being in a central position. TPZ radius is measured from the centre of the stem at ground level. A TPZ should not be less than 2 m nor greater than 15 m (except where crown protection is required).

The TPZ also incorporates the structural root zone (SRZ) which comprises area around the base of a tree required for the tree's stability in the ground. The SRZ only needs to be calculated when major encroachment into a TPZ is proposed. An indicative SRZ radius can be determined from the trunk diameter measured immediately above the root buttress using the formula provided in AS4970-2009. Root investigation may provide more information on the extent of these roots. The SRZ for trees with trunk diameters less than 0.15 m will be 1.5 m.

The TPZ and SRZ of each tree are presented in the Tree Data Table at the end of this report.

Potential impacts

AS4970-2009 allows for a level of encroachment into the TPZ. Encroachments can be by earthworks, paving and trenching for services, as well as building works.

Development encroachment less than 10% of the TPZ area and not within the SRZ, is considered to be a 'minor encroachment' which is likely to be acceptable in relation to the tree.

Development encroachment greater than 10% of TPZ area or within the SRZ, is considered to be a 'major encroachment'. With a major encroachment the project arborist must show that the tree will remain viable. This includes consideration of a number of factors outlined in section 3.3.4 of AS 4970-2009. This will require consideration of relevant factors listed in Section 3.3.4. of AS4970-2009 including the tolerance of tree species to disturbance, and 'design factors' which may involve 'tree sensitive construction measures' which can minimize the impacts of any encroachment.

In the case of *Eucalyptus camaldulensis* a 10-15% encroachment is likely to be acceptable. It is recognized by many arborists that *Eucalyptus camaldulensis* is a tree species with a good tolerance to development activities. This is due to the trees relatively deep root system, ability of its dimorphic root system to draw on underground water sources, and natural adaptation to disturbed riverine sites.

If an encroachment greater than 10-15% is proposed, then 'tree sensitive construction methods' could be adopted in accordance with section 3.3.4 of AS 4970-2009. This could include the use of pier and beam footings for buildings within the TPZ or the use of permeable paving.

No excavation should be permitted within the SRZ of any tree.

Tree Assessment at Lake Windemere, Salisbury North

Trees on and adjacent to housing

The following assessment has been made of the proposed development activities on trees to be retained within and adjacent to the proposed subdivision.



House designs site plan

Tree Assessment at Lake Windemere, Salisbury North

Note - I carried out a development impact assessment for this site in November 2023. I was requested to advise on tree retention/removal and to assess potential impacts on trees to be retained on the site. A tree development report was subsequently issued dated 16/ 11 /22. The finished floor level of each home had now been raised to meet the 100-year storm/flood event requirements, necessitating changes to the bulk earthworks plan. Council has requested further information in relation to the impacts of these new earthworks on a number of trees.

- Council has queried the retention of trees 16, 95 and 97, given the extent of earthworks that are now required in the rear yards of the adjacent allotments.
- Impacts of the proposed cut and fill around trees 11 and 14 also needs to be reviewed.
- A retaining wall and fill is now shown on the school boundary to achieve the required floor levels. Need to assess impacts on the school trees in particular significant/regulated trees S1, S2 and S7.

Tree 97

The bulk earthworks plan indicates 100mm fill at the tree trunk, 400 fill in the SRZ and 200 cut in the SRZ. Placing fill against a tree trunk is not acceptable as it can result in collar rot. This can impact on tree health. Cut within the SRZ is not acceptable as tree stability is likely to be compromised if large diameter roots are cut. This would create unacceptable risk to building occupants and park users. On this basis tree retention would not be feasible or acceptable under the current design. Removal of this significant tree would need to be on the grounds that:

- it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible.
- in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree damaging activity occurring.

Tree 95

The bulk earthworks plan indicates no fill at the tree trunk, 200 fill in the SRZ and 200 cut in the SRZ. Cut within the SRZ is not acceptable as tree stability is likely to be compromised if large diameter roots are cut. This would create unacceptable risk to building occupants and park users. On this basis tree retention would not be feasible or acceptable under the current design. Removal of this regulated tree would need to be on the grounds that:

- it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible.

Tree 16

For tree 16 the proposed building and paving works encroach approx. 60m² (15.4%) into the TPZ. This would comprise a major encroachment but would be considered to be acceptable for this highly tolerant tree species.

Considering the proposed earthworks on the site (200+ fill?) the total encroachment would be approx. 180m² (46%). This would be outside the limits of tolerance of the tree. The tree would require removal if the extent of earthworks cannot be reduced to a more acceptable level. Removal of this significant tree would need to be on the grounds that:

- it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible.
- in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree damaging activity occurring.

Tree Assessment at Lake Windemere, Salisbury North

Trees 11 & 14

Tree 11

For tree 14 the proposed building and paving works encroach approx. 34m² (11.7%) into the TPZ. This would comprise a major encroachment but would be considered to be acceptable for this highly tolerant tree species.

The bulk earthworks plan indicates no fill at the tree trunk, 300 fill in the SRZ and no cut in the SRZ. This level of fill would have the potential to impact on tree health, but tree stability would not be compromised.

If fill is proposed for the whole allotment within the TPZ the total encroachment would be approx. 70m² (21.4%). While this is a high level of encroachment it is likely to be tolerated by a healthy open grown tree of this species. The encroachment would be offset by the area of the reserve contiguous with the TPZ, which will remain in an open state.

It is noted however that any other civil or earthworks within the verge would also have the potential to further impact on the tree.

Tree 14

For tree 14 the proposed building and paving works encroach approx. 47m² (14.1%) into the TPZ. This would comprise a major encroachment but would be considered to be acceptable for this highly tolerant tree species.

Considering the proposed earthworks on the site (100+ fill?) the total encroachment would be approx. 85m² (28%) and all works are outside the SRZ. While this is a high level of encroachment it is likely to be tolerated by a healthy open grown tree of this species. The encroachment would be offset by the area of the reserve contiguous with the TPZ, which will remain in an open state.

School trees

Proposed development activities

Based on the drawings provided, the following is proposed in relation to the school trees.

- New approx. 7m wide community title driveway adjacent to school site shown as permeable block paving. Conventional roadway adjacent to tree S1.
- 4.0m wide shared services easement adjacent to school boundary (water, sewer shown).
- Bulk earthworks including fill (<1m) adjacent to school boundary.
- New retaining wall along school boundary, shown as 450 high adjacent to trees 4 and 7 and 200 high adjacent to trees S1 and S2.

Development Impacts

An assessment was made on the potential impacts of the new civil works on the larger trees in the adjacent school site. This is summarized in the table below including TPZ encroachment by the driveway itself, and the total site encroachment (driveway plus earthworks).

Table showing TPZ encroachments-school trees

Tree no.	Tree species	TPZ encroachment	
		Driveway	Including verge
S1	<i>Eucalyptus spp.</i>	25m ² (11.5%)	62m ² (29.0%)
S2	<i>Eucalyptus sideroxylon</i>	22m ² (9.0%)	83m ² (34.0%)
S4	<i>Eucalyptus camaldulensis</i>	21m ² (13.6%)	44m ² (28.0%)
S7	<i>Eucalyptus sideroxylon</i>	2m ² (1.2%)	10m ² (6.0%)

Tree Assessment at Lake Windemere, Salisbury North

With the proposed alignment the community title driveway encroachment for each tree is considered to be acceptable and within the limits of tolerance of the treed. The driveway is also shown as permeable block paving which would further mitigate potential impacts on the trees.

Including the proposed earthworks (fill and retaining wall) and underground services there is a 'major encroachment' under AS4970 for trees S1, S2 and S4 (>10% of TPZ area). This is considered to have the potential to impact on tree health and possibly tree stability where works are within the SRZ. Potential impacts however can be mitigated by the use of 'tree sensitive' construction methods as follows.

Paving

Installation of paving within a TPZ can impact on tree health by the installation of impervious surfaces, and by excavation works. The driveway is to comprise an approved permeable paving system (as shown) to maintain water infiltration into the soil (Refer to the permeable paving guidelines below).

Paving should also be installed without excavation and lowering of grade which can disturb the trees root system. In this instance it appears that the driveway will be installed above natural ground level.

Earthworks

Modification of natural site levels within a TPZ can impact on tree health and longevity. Filling or cutting soil within a TPZ can severely injure or kill a tree. Tree roots are typically found in the top 600mm or so of soil where conditions of moisture, nutrients and oxygenation are most favourable to root growth.

Lowering the grade within a TPZ by excavation or 'cut' can impact on tree health by severing roots and damaging the roots that remain, reducing the trees ability to assimilate moisture and nutrients from the soil.

Raising the grade within a TPZ by the installation of fill can 'suffocate' tree roots by reducing soil oxygen levels, and by reducing water infiltration into the soil. This effect is exacerbated where the fill comprises poor quality material, and is compacted to levels which severely limit root growth.

It is however possible to utilize fill which provides a favourable environment for root growth, and which can be colonized by tree roots. Such fill should be protected from compaction and should comprise a soil with attributes of soil structure, oxygenation, water infiltration and nutrient availability favourable for root growth. In this instance.

Fill under the proposed driveway is to comprise the gap graded aggregate drainage layer required for the permeable paving system. This will maintain water infiltration and soil oxygenation and will be acceptable in relation to the trees.

Any other fill, for landscaping or other purposes, is to comprise good quality coarse loam. Once installed fill is to be protected from compaction, including during construction activities on the site.

Retaining walls

Continuous trenching for retaining walls within a TPZ can sever tree roots. Any retaining walls should be of isolated pier construction rather than strip footings and without continuous trenching (e.g. concrete sleepers on steel support posts). Piers should be located outside an SRZ where possible.

Services

Continuous trenching for underground services within a TPZ can sever tree roots. Underground services are to be routed outside of the TPZ if possible. If underground services cannot be routed outside of the TPZ, install using 'soft dig' methods such as hydro-excavation or direction boring under guidance of the Project Arborist. In this instance this will be required within the TPZs trees 1, 2 and 4.

The site plan shows a triangular development area with various setbacks and easements. Key features include:

- Setbacks:** 700mm RW, 450mm RW, 200mm RW, 840mm RW.
- Easements:** 450mm RW, 200mm RW, 840mm RW.
- Building Footprints:** Labeled with FFL (Finished Floor Level) and BL (Base Level) values. For example, FFL 16.75, BL 16.55.
- Other Features:** A note indicates the interface with Council Reserve to be softened to avoid retaining during detailed design.

DENOTES EXISTING 225 SEWER MAIN

4.00 SHARED PAVED AREA

S7
S6
S5
S8

COMMUNITY TITLE DRIVEWAY TO BE PERMEABLE BLOCK PAVING

S4
S3
S2
S1

NEW ROADWAY TO BE ASPHALT

1 2 3 4 5 6 7

1.00m INDENT IN LOT 7 FOR COMMUNITY TITLE WATER MANIFOLDS & ELECTRICAL SWITCHBOARD

DENOTES PAVED AREA (APPROX 2m x 14m) FOR COMMUNITY TITLE BIN COLLECTION WITH ACCESS PATH TO COMMON DRIVEWAY

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Tree Assessment at Lake Windemere, Salisbury North

Permeable paving guidelines

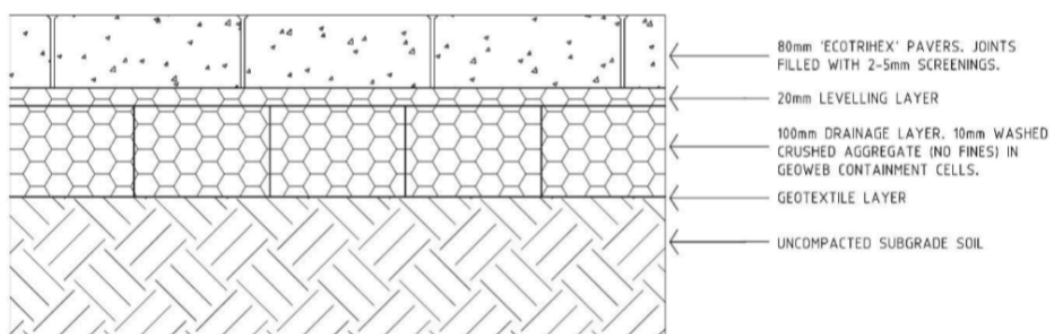
Permeable paving systems allow infiltration into the soil while still supporting pedestrian and vehicle loads. In permeable paving systems, the pavers are made of impervious materials, but with water infiltrating through enlarged gravel filled joints between the pavers (e.g. Ecotrihex).

Permeable paving systems require that the pavers be laid on some form of 'drainage layer' (usually no fines aggregate) which allows stormwater runoff to drain freely from the paved surface, and infiltrate into the sub-base. The systems must be designed to meet engineering requirements in terms of both vehicles loads as well as infiltration capacity.

The following construction profile for permeable paving (for vehicle loads) around urban trees has been adopted in a number of instances. This is indicative only and will require civil engineering input to support the proposed vehicle loads.

- 80mm 'Ecotrihex' pavers, joints filled with 2-5mm screenings.
- 20mm levelling layer of 10mm washed crushed aggregate (no fines).
- Minimum 100mm drainage layer of 10mm washed crushed aggregate (no fines) in 'Geoweb' containment cells.
- Geotextile layer.
- Uncompacted subgrade.

Overall profile depth for trafficable paving can vary from approx. 200mm where a very shallow profile is required, to approx. 300-400mm for typical engineered pavements



Typical permeable paving detail around trees (trafficable). Typical only and subject to engineering design.

Tree Assessment at Lake Windemere, Salisbury North



'Ecotrihex' pavers on washed aggregate drainage layer.



Project example Hillview Road Netherby City of Mitcham

Tree Assessment at Lake Windemere, Salisbury North

The following methodology is recommended when installing permeable paving within a TPZ.

- The permeable paving system is to be installed above grade if feasible to reduce the need for excavation within the TPZ and disturbance of the trees root system
- Excavation depths should be adapted to the presence of large diameter roots.
- Excavation that occurs within the TPZ should be by manual excavation or hydro-excavation.
- The project arborist should advise on roots to be retained and should monitor the works.
- If roots are encountered and are larger than 50mm in diameter works should proceed under the direct supervision of the project arborist with a minimum qualification of Level 4 (AQTF 4).
- Where the project arborist identifies roots to be pruned within or at the outer edge of the TPZ, they should be pruned with a final cut to undamaged wood. Pruning cuts should be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds should not be treated with dressings or paints. It is not acceptable for roots within the TPZ to be 'pruned' with machinery such as backhoes or excavators.
- Where roots within the TPZ are exposed by excavation, temporary root protection should be installed to prevent them drying out. This may include jute mesh or hessian sheeting as multiple layers over exposed roots and excavated soil profile, extending to the full depth of the root zone. Root protection sheeting should be pegged in place and kept moist during the period that the root zone is exposed.
- All works within the TPZ should be undertaken in accordance to AS4970.

Tree Assessment at Lake Windemere, Salisbury North

Conclusions

- The proposed design was reviewed to assess impacts on the regulated and significant trees on the site.
- A total of 19 trees are proposed for removal to facilitate the proposed development. Of the 19 trees to be removed, four are low retention value, six are medium retention value and nine are high retention value trees.
- Of the 12 trees to be retained, one is low retention value, two are medium retention value and nine are high retention value.
- It is evident that, while a number of trees require removal to facilitate the proposed development, there has been an effort to retain a large number of significant and high retention value trees.
- Removal of trees 4,7,12 and 22 would be on the grounds of 'poor health or structure'. Removal of the other trees would be on the grounds of 'reasonable development'.
- Potential impacts on trees to be retained on the site were assessed.
- In most instances the level of impact was considered to be acceptable for a highly tolerant tree species (subject to minimizing any additional impacts from earthworks on the trees).
- It is noted that permeable paving is specified for the paving within the TPZ for a number of trees, which will assist in mitigating any impacts on the trees.
- An assessment was also made of impacts on trees in the adjacent school site. Continuous trenching for retaining walls within a TPZ can sever tree roots. Any retaining walls should be of isolated pier construction rather than strip footings and without continuous trenching (e.g. concrete sleepers on steel support posts). Piers should be located outside an SRZ where possible.
- A range of tree protection measures, including TPZ fencing, will be required during the construction phase at the site.
- Offset tree planting is required at the rate of 2 trees per Regulated Tree and 3 trees per Significant Tree to be removed. It is proposed that a total of **40** new trees will be planted within the Lake Windemere reserve. These are over and above trees to be delivered with the individual dwellings and street tree planting.

Tree Assessment at Lake Windemere, Salisbury North

General tree protection measures

To protect those trees to be retained on a development site, consideration must be given to the various activities that are occurring within the vicinity of these trees. Modifications to the design and methodology of installing any structures and surfaces must be considered. In addition, protective fencing and other protective measures may be required during the entire development process. In relation to the proposed development at this site, the following general guidelines are provided.

Protective fencing

Protective fencing will be required around any trees to be retained on site in close proximity to any earthworks or related activities. Ideally the TPZ fence should be set up at the standard TPZ radius. Where this is not practical, the TPZ fence may be reduced in consultation with the project arborist. A range of other ground and tree protection measures may be required in these situations. Once erected, protective fencing must not be removed or altered without approval by the project arborist. The fencing should be secured to restrict access. Appropriate signage must be placed on the TPZ fence.

Demolition activities

Demolition activities generally require heavy machinery to move about on the site. Damage to tree roots, trunks, branches and the growing environment often occurs, even when the machinery operators have the best intentions and take reasonable care. These activities can cause a range of potential damage to trees. All trees to be retained on site must have protective fencing, ground protection and other tree protection measures in place prior to demolition activities commencing.

Site preparation and earthworks

Modification of natural site levels within a TPZ can impact on tree health and longevity. The majority of tree roots are typically found in the top 600mm or so of soil where conditions of moisture, nutrients and oxygenation are most favourable to root growth. Excavation can impact on tree health by severing roots and reducing the trees ability to assimilate moisture and nutrients for the soil. Installation of fill can 'suffocate' tree roots by reducing soil oxygen levels. Where possible existing site levels should be retained within a TPZ.

Any earthworks or the removal of existing structures, surfaces and/or vegetation will require heavy machinery to move about on the site. If they work within any TPZ area, they can potentially compact the soil and damage tree roots, trunks and branches. Any machinery must work with caution within the tree protection zone.

Construction activities

Construction activities at this site will be varied. These activities require a range of different contractors accessing the site, receiving and storing materials, generating waste and spoil etc. If these activities occur unchecked within a tree protection zone, the cumulative effects of these activities may cause harm to the trees and their root systems. The trees must be well protected with fencing and other suitable ground protection during all phases of the construction process. Areas for parking, storage, waste disposal, mixing and wash out areas must be clearly defined, well away from the tree protection zone. These should be considered during the design phase of the project.

Tree Assessment at Lake Windemere, Salisbury North

Underground services

New or relocated underground services will be required as part of the project. These should be routed outside of all TPZ areas. If underground services must pass through any TPZ, they must utilise underground boring methods or manually excavated trenches.

Paving

Some paving activities will be required as part of the project. Typical paving profiles often require excavation works, soil compaction and the installation of impervious surfaces. These can all have an adverse impact on the soil and the trees root system which can adversely affect tree health. Any paving works forming part of this project within any TPZ must utilize a no dig method, use permeable subbase preparations and permeable paving materials.

Landscaping

A range of landscaping activities will form part of the project. These also have the potential to cause harm to the soil and roots of the trees. These include but are not limited to; grade changes up or down, soil compaction from heavy machinery and stockpiling of materials, damage to tree trunks and branches from machinery, soil contamination from improper chemical use, root cutting from trenching activities for underground services and retaining walls, root damage from soil cultivation and planting and from paving activities.

Fencing

Fencing works will be required in some areas. Any fencing works within any TPZ must not use continuous trenching, as would be the case for a masonry wall, concrete plinth or other similar fence construction. It is recommended that fencing for the project use lightweight panel/mesh fencing on a post and rail support system with concrete pads to support the posts.

Lake Windemere Tree Survey

North East Sector

Tree #	Species	Circumf. @ 1m (m)	legal status	DBH @ 1.4m (mm)	Dia. @ GL (m)	Height (m)	Health	Structure	TPZ radius (m)	SRZ radius (m)	Retention value	Action
1	<i>Eucalyptus leucoxylon</i> SA Blue Gum	2.50	Regulated	570	0.65	medium (10-20m)	Average	Average	6.8	2.8	Medium	To be removed
2	<i>Eucalyptus camaldulensis</i> River Red Gum	2.15	Regulated	650	0.80	medium (10-20m)	Average	Average	7.8	3.0	Medium	To be removed
4	<i>Eucalyptus leucoxylon</i> SA Blue Gum	2.75	Regulated	620	0.75	medium (10-20m)	Average	Poor multi stems, bark inclusion at base	7.4	2.9	Low	To be removed
5	<i>Eucalyptus intertexta</i> Gum Barked Coolibah	2.20	Regulated	500	0.65	medium (10-20m)	Average	Average	6.0	2.8	Medium	To be removed
7	<i>Eucalyptus camaldulensis</i> River Red Gum	2.70	Regulated	610	0.85	medium (10-20m)	Good	Poor, multistem, bark inclusions at base	7.3	3.1	Low	To be removed (roadway)
8	<i>Eucalyptus camaldulensis</i> River Red Gum	3.25	Significant	740	0.90	medium (10-20m)	Good	Good	8.9	3.2	High	To be removed (roadway)
9	<i>Eucalyptus camaldulensis</i> River Red Gum	2.75	Regulated	850	0.85	medium (10-20m)	Good	Good	10.2	3.1	High	To be retained (adjacent to subdivision)
11	<i>Eucalyptus camaldulensis</i> River Red Gum	2.55	Regulated	800	0.90	medium (10-20m)	Good	Average	9.6	3.2	High	To be retained (adjacent to subdivision)
12	<i>Acacia salicina</i> Port Broughton Wattle	2.40	Regulated	540	1.95	small (<10m)	Poor	Poor, history of branch failures	6.5	4.4	Low	To be removed
13	<i>Eucalyptus camaldulensis</i> River Red Gum	2.80	Regulated	920	0.93	medium (10-20m)	Average	Average	11.0	3.2	High	To be removed

surveyed 12th August 2021

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Lake Windemere Tree Survey

North East Sector

Tree #	Species	Circumf. @ 1m (m)	legal status	DBH @ 1.4m (mm)	Dia. @ GL (m)	Height (m)	Health	Structure	TPZ radius (m)	SRZ radius (m)	Retention value	Action
14	<i>Eucalyptus camaldulensis</i> River Red Gum	2.80	Regulated	860	1.00	medium (10-20m)	Good	Good	10.3	3.3	High	To be retained (adjacent to subdivision)
15	<i>Eucalyptus camaldulensis</i> River Red Gum	2.50	Regulated	780	0.80	medium (10-20m)	Average	Poor, multistem, bark inclusions at base	9.4	3.0	Low	To be retained (adjacent to subdivision)
16	<i>Eucalyptus camaldulensis</i> River Red Gum	5.85	Significant	1150	1.30	medium (10-20m)	Good	Average Borer activity	13.8	3.7	High	To be removed (adjacent to subdivision).
17	<i>Eucalyptus camaldulensis</i> River Red Gum	2.60	Regulated	830	1.00	large (>20m)	Good	Good	10.0	3.3	High	To be retained (adjacent to subdivision)
21	<i>Eucalyptus camaldulensis</i> River Red Gum	2.50	Regulated	720	0.90	medium (10-20m)	Good	Good	8.6	3.2	High	To be removed (roadway)
22	<i>Eucalyptus camaldulensis</i> River Red Gum	2.40	Regulated	620	0.77	medium (10-20m)	Poor moderate dieback, short life expectancy	Poor, bark inclusion at base	7.4	3.0	Low	To be removed
23	<i>Eucalyptus intertexta</i> Gum Barked Coolibah	2.50	Regulated	560	0.70	medium (10-20m)	Average	Average 2 stems	6.7	2.8	Medium	To be retained (adjacent to subdivision)
24	<i>Eucalyptus camaldulensis</i> River Red Gum	2.90	Regulated	920	0.98	large (>20m)	Average	Average	11.0	3.3	High	To be retained (adjacent to subdivision)
92	<i>Eucalyptus camaldulensis</i> River Red Gum	2.40	Regulated	750	0.90	medium (10-20m)	Good	Average	9.0	3.2	High	To be retained (adjacent to subdivision)
93	<i>Eucalyptus camaldulensis</i> River Red Gum	3.02	Significant	970	1.10	large (>20m)	Good	Average	11.6	3.4	High	To be retained (adjacent to subdivision)

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Lake Windemere Tree Survey

North East Sector

Tree #	Species	Circumf. @ 1m (m)	legal status	DBH @ 1.4m (mm)	Dia. @ GL (m)	Height (m)	Health	Structure	TPZ radius (m)	SRZ radius (m)	Retention value	Action
94	<i>Eucalyptus camaldulensis</i> River Red Gum	2.60	Regulated	740	0.90	medium (10-20m)	Average	Average	8.9	3.2	High	To be retained (adjacent to subdivision)
95	<i>Eucalyptus camaldulensis</i> River Red Gum	2.40	Regulated	790	0.90	medium (10-20m)	Average	Average	9.2	3.2	High	To be removed (in allotment)
96	<i>Eucalyptus camaldulensis</i> River Red Gum	2.20	Regulated	690	0.80	medium (10-20m)	Average	Good	9.5	3.0	High	To be removed (in allotment)
97	<i>Eucalyptus camaldulensis</i> River Red Gum	3.80	Significant	860	1.10	medium (10-20m)	Average	Average	10.3	3.4	High	To be removed(in allotment)
101	<i>Eucalyptus camaldulensis</i> River Red Gum	2.35	Regulated	530	0.70	medium (10-20m)	Good	Average	6.4	2.8	High	To be removed (roadway)
102	<i>Eucalyptus leucoxylon</i> SA Blue Gum	2.55	Regulated	550	0.70	medium (10-20m)	Average	Average	6.6	2.8	Medium	To be removed
103	<i>Eucalyptus camaldulensis</i> River Red Gum	3.50	Significant	1050	1.20	medium (10-20m)	Good	Good	12.6	3.6	High	To be retained (adjacent to subdivision)
110	<i>Eucalyptus intertexta</i> Gum Barked Coolibah	2.10	Regulated	700	0.80	medium (10-20m)	Good	Good	8.4	3.0	Medium	To be removed
111	<i>Eucalyptus camaldulensis</i> River Red Gum	2.20	Regulated	670	0.80	medium (10-20m)	Good	Good	8.0	3.0	High	To be removed (roadway)
112	<i>Eucalyptus camaldulensis</i> River Red Gum	2.00	Regulated	640	0.67	medium (10-20m)	Good	Good	7.7	2.8	Medium	To be removed
113	<i>Eucalyptus intertexta</i> Gum Barked Coolibah	2.40	Regulated	540	0.80	medium (10-20m)	Average	Average 2 stems	6.5	3.0	Medium	To be retained (adjacent to subdivision)

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Lake Windemere Tree Survey
Adjoining School Trees

Tree #	Species	Circumf. @ 1m (m)	legal status	DBH @ 1.4m (mm)	Dia. @ GL (m)	Height (m)	Health	Structure	TPZ radius (m)	SRZ radius (m)	Distance to fence	limit of encroachment
1	<i>Eucalyptus sp</i>	4.20	Significant	690	0.90	medium (10-20m)	Good	Average	8.3	3.2	3.00	5.6
2	<i>Eucalyptus sideroxylon</i>	3.20	Significant	730	0.80	medium (10-20m)	Good	Average	8.8	3.0	2.50	6.0
3	<i>Eucalyptus sp</i>	0.30	Non-regulated	320	0.34	small (<10m)	Average	Average	3.8	2.1	4.20	2.6
4	<i>Eucalyptus camaldulensis</i>	1.90	Non-regulated	580	0.72	medium (10-20m)	Good	Good	7.0	2.9	2.40	4.8
5	<i>Eucalyptus sideroxylon</i>	1.50	Non-regulated	460	0.55	small (<10m)	Good	Average	5.5	2.6	2.60	3.7
6	<i>Eucalyptus sideroxylon</i>	1.55	Non-regulated	490	0.60	medium (10-20m)	Good	Good	5.9	2.7	3.80	4.0
7	<i>Eucalyptus sideroxylon</i>	2.10	Regulated	590	0.75	medium (10-20m)	Good	Average	7.1	2.9	4.80	4.8
8	<i>Eucalyptus sideroxylon</i>	1.50	Non-regulated	480	0.70	medium (10-20m)	Good	Good	5.8	2.8	2.70	3.9
9	<i>Eucalyptus sp</i>	1.20	Non-regulated	350	0.40	small (<10m)	Below average	Average	4.2	2.3	3.40	2.9
10	<i>Eucalyptus sp</i>	1.25	Non-regulated	380	0.45	small (<10m)	Below average	Average	4.6	2.4	3.70	3.1
11	<i>Eucalyptus sp</i>	1.00	Non-regulated	250	0.35	small (<10m)	Below average	Poor	3.0	2.1	3.00	2.0

All to be retained

surveyed 12th August 2021

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Lake Windemere Tree Images



Tree 1



Tree 2



Tree 4



Tree 5



Tree 7



Tree 8



Tree 9 & 103



Tree 11



Tree 12



Tree 13



Tree 14



Tree 15



Tree 16



Tree 17



Tree 21



Tree 22



Tree 23



Tree 24



Tree 92



Tree 93



Tree 94



Tree 95



Tree 96



Tree 97



Tree 101



Tree 102



Tree 110



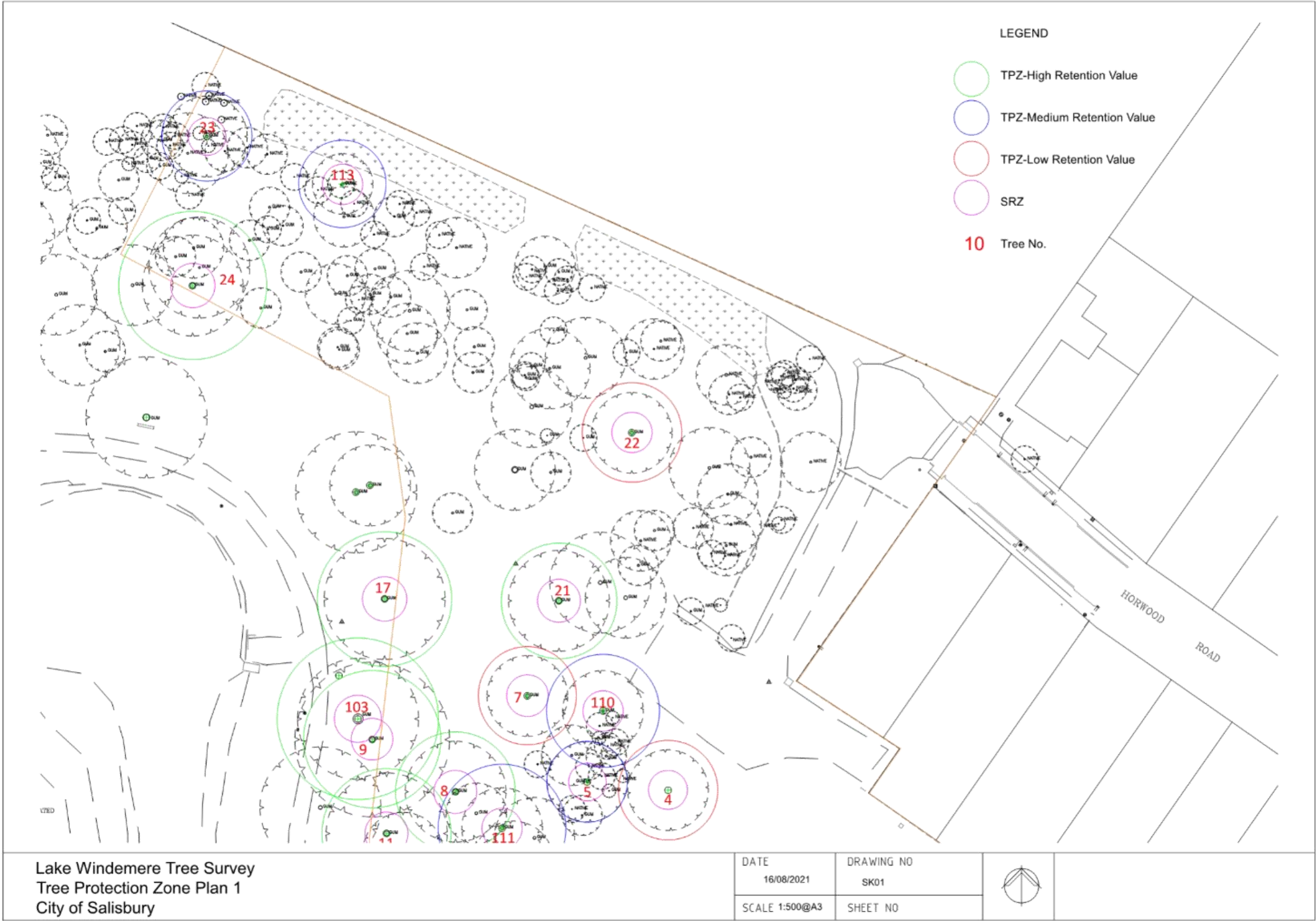
Tree 111

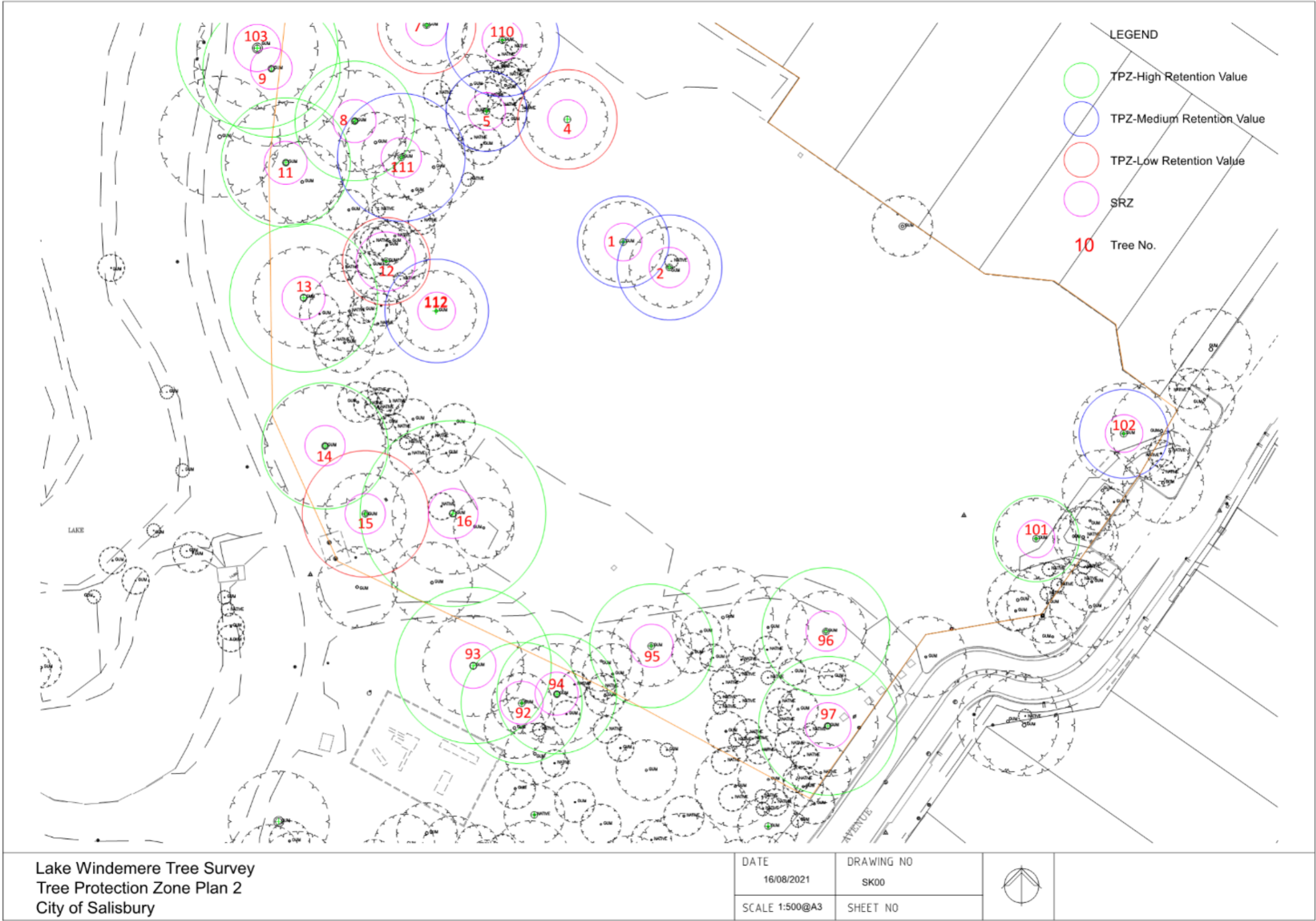


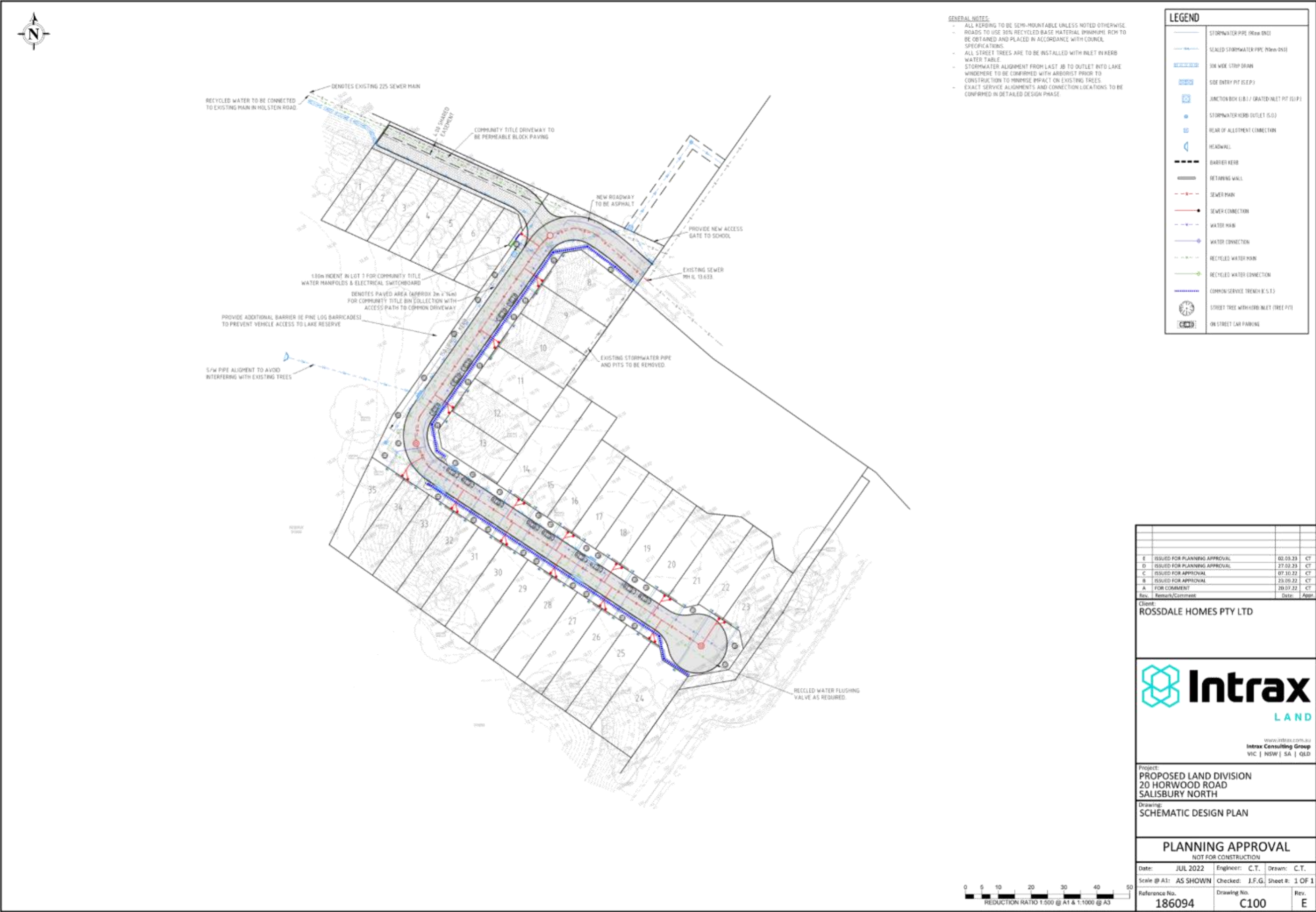
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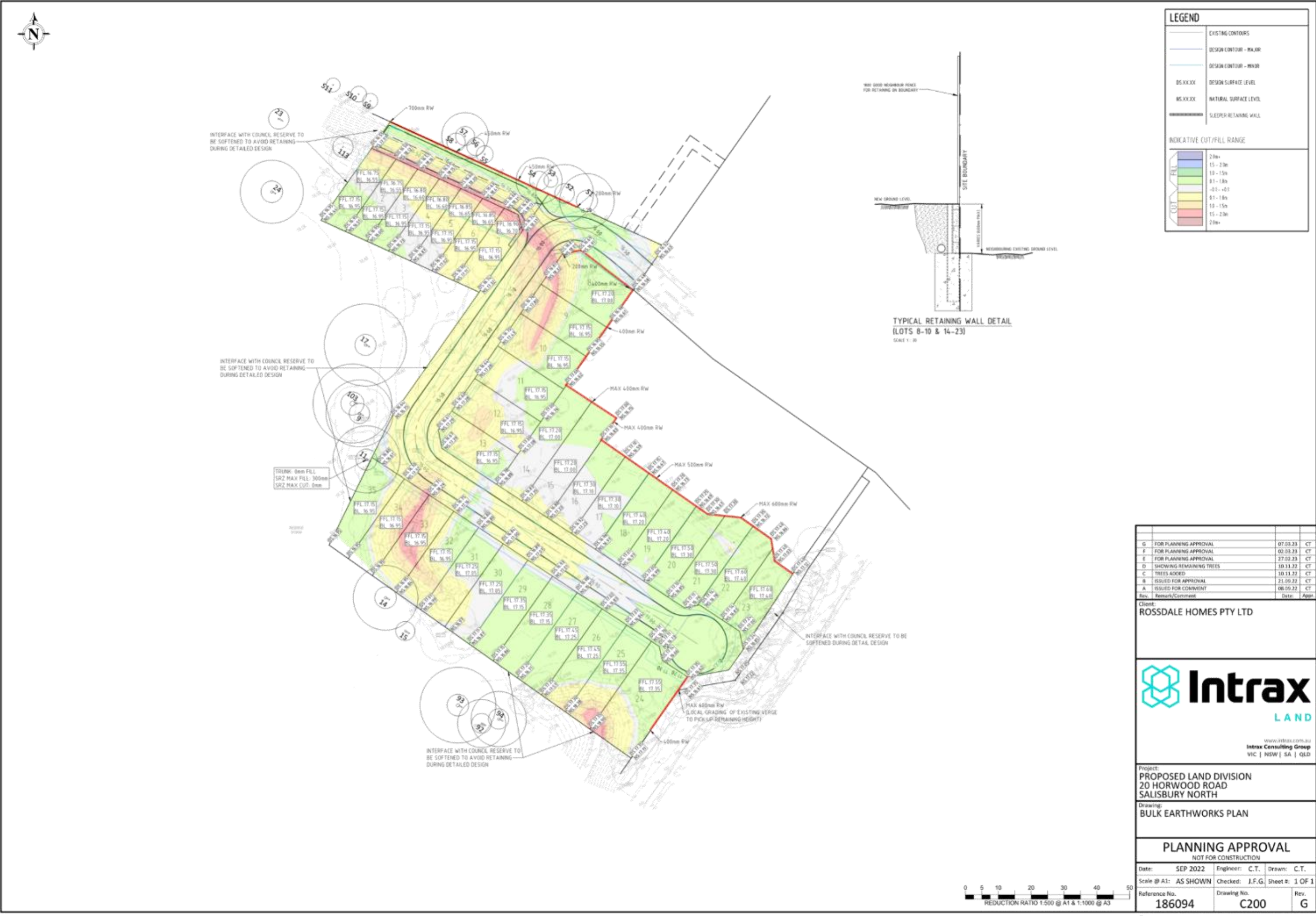


Tree 113









Item 8.1.3 - Attachment 1 - Proposal Plans and Supporting Documentation





Stormwater Management Report

HORWOOD ROAD, SALISBURY NORTH, SA

ROSSDALE HOMES

Presented By
Clint Thomas
Senior Civil Engineer

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Author
Clint Thomas

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Intrax Consulting Engineers Pty Ltd
ABN: 31 106 481 252

Office
Level 1, 185 Fullarton Road
Dulwich, SA 5065
p: 08 8165 0122
w: www.intrax.com.au



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1 Introduction

1.1 Overview

Situated at the end of Horwood Road, next to Lake Windemere, the subject site covers approximately 1.35Ha which has been vacant since late 2012. The proposed land division will create 28 Torrens titled allotments with an extension to Horwood road, as well as 7 community titled allotments with a common driveway.



FIGURE 1: AERIAL IMAGE (SOURCE: NEARMAPS.COM)

1.2 Existing Stormwater Network

The site contains a large bund, previously build for flood prevention of Lake Windemere. This bund is approximately 2-3m tall and runs under the tree line to the west of the site. The site currently drains towards an existing grated sump at the rear of 62 Horwood, and then into the lake via a 300mm RCP, which also conveys the pair of SEPs on Horwood Rd, and a grated sump that caters for the runoff for a portion of the school oval and site of the future Uraidla Rd development. These SEPs will be retaining and redirected into the new pipe system

1.3 Neighbouring Catchments

The stormwater in the vacant parcel to the north-east (known as the Uraidla Development through this report) will convey through this development in the future when it is developed. This catchment is approximately 6.50Ha and will be a residential land division. Although that development is not in progress, allowances will be made for it in the design of the stormwater system for this development with increased pipe sizes to allow for the future flows.

2 Stormwater Objectives & Strategies

2.1 Stormwater Objectives

This report will detail the extend of the stormwater collected on the subject site and demonstrate how it will be directed and discharged via the drainage network, while considering stormwater quality management and Water Sensitive Urban Design (WSUD) elements.

2.2 Stormwater Management

2.2.1 Underground Drainage System

The stormwater system will consist of, side entry pits (SEP), grated sumps (GS), reinforced concrete pipes (RCP), junction boxes (JB) and headwalls (HW) to convey the site runoff, all installed and specified in accordance with council requirements.

2.2.2 During Construction Controls

Temporary basins to collect runoff and sediment will be implemented during construction to control runoff and erosion in the site, and nearby areas. Along side these basins, silt fences, hay bail barriers and shaker pads for machinery will be used. A sedimentation control plan will be submitted to council during the detailed design phase for comment and approval.

2.2.3 Site Flooding

The adjacent Lake Windemere floods in the 1:100yr event, which causing spilling above the 16.65 level. This means that the subject development will experience localised flooding within the road reserve. A high point has been provided at the norther end of the main road, just south of the bend, providing a barrier to prevent the water from entering the school oval to the north. As the lake spills, the roadway will contain water, and then subsequently drains to the lake via pit and pipe system as the lake level subsides.

The community title driveway slopes away from the above-mentioned high point, and flows north east to a grated sump which translated minor flows back to the pit and pipe system, and ultimately into the lake. Major flows however will breach the kerb at the grated sump and convey via a swale to Holstein Road. This method minimises the retaining along the school boundary, as well as the general earthworks impact to the surrounding reserve.

The dwellings have been designed to be at a minimum floor level of 17.15 to minimise the impact of this flooding.

2.3 Stormwater Management Plan (SMP)

The stormwater management plan submitted with this report has been prepared to illustrate the overall intent with regards to stormwater collection, detention, and discharge, in accordance with the council requirements for the site. The layout is the intended design

2.4 Water Sensitive Urban Design (WSUD)

Water quality management will take the form of a gross pollutant trap (GPT) and litter baskets in the side entry pits at the minimum, with other likely measures added to meet the EPA & council requirements listed below. MUSIC software will be used to model the stormwater quality, and determine the devices and systems required to meet the EPA & council targets.

EPA/Council design requirements for stormwater quality are:

- 90% reduction is Gross Pollutants (GP) from typical urban pollutant load
- 80% reduction in Total Suspended Solids (TSS) from typical urban pollutant load
- 60% reduction in Total Phosphorous (TP) from typical urban pollutant load



- 45% reduction in Total Nitrogen (TN) from typical urban pollutant load.

3 Stormwater Modelling & Analysis

3.1 Drains

A drains model was used to determine the approximate pre and post development flows from the site. These flows detailed in the below sections were taking using 95% grass/landscaping for the pre-development flows, and 70% paved/30% grass for the post-development sites. The drains model has been included as part of this submission.

3.2 Pre-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	67 L/s	560 L/s
Horwood Development	13 L/s	142 L/s
Combined Development	80 L/s	702 L/s

3.3 Post-Development Flows

Catchment	Minor Storm (0.2EY)	Major Storm (1% AEP)
Uraidla Development	401 L/s	1,276 L/s
Horwood Development	178 L/s	272 L/s
Combined Development	579 L/s	1,548 L/s

4 Conclusion

The proposed site once developed will utilise a pie and pipe network, designed to cater for the minor and major storm events, to convey stormwater runoff from the allotments and road reserves. This pit and pipe network will be contained within the road reserve, before discharging through the reserve and into Lake Windemere.

The stormwater management plan has been developed and designed with advice from the City of Salisbury Council in order so deliver the abovementioned stormwater system. Detention for the stormwater is not required for this site due to the proximity to Lake Windemere which itself is a detention basin. The development will implement WSUD techniques to treat runoff stormwater to meet council and EPA requirements

Appendix 2

Extract of Planning and Design Code

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LOT 82 HISSAR AV SALISBURY NORTH SA 5108**Address:**Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Local Variation (TNV)**

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)

Affordable Housing

Building Near Airfields

Defence Aviation Area (All structures over 15 metres)

Hazards (Flooding)

Hazards (Flooding - General)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

Water Resources

Zone

General Neighbourhood

Selected Development(s)

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this means the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Detached dwelling - Code Assessed - Performance Assessed

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Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature								
Land Use and Intensity									
PO 1.1 Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.	DTS/DPF 1.1 Development comprises one or more of the following: (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Educational establishment (f) Office (g) Place of Worship (h) Pre-school (i) Recreation area (j) Residential flat building (k) Retirement facility (l) Shop (m) Student accommodation (n) Supported accommodation								
Site Dimensions and Land Division									
PO 2.1 Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.	DTS/DPF 2.1 Development will not result in more than 1 dwelling on an existing allotment or Allotments/sites for residential purposes accord with the following: <table><tr><th>Dwelling Type</th><th>Minimum site/allotment area per dwelling</th><th>Minimum site/allotment frontage</th></tr><tr><td>Detached dwelling (not in a terrace arrangement)</td><td>300m² (exclusive of any battle-axe allotment 'handle')</td><td>9m where not on a battle-axe site 5m where on</td></tr></table>			Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage	Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on
Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage							
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on							

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			a battle-axe site
	Semi-detached dwelling	300m ²	9m
	Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
	Group dwelling	300m ² (average, including common areas)	15m (total)
	Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
PO 2.2 Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	DTS/DPF 2.2 Where the site of a dwelling does not comprise an entire allotment: (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1 (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene: (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.		
PO 2.3 Land division results in sites that are accessible and suitable for their intended purpose.	DTS/DPF 2.3 Division of land satisfies (a), (b) or (c): (a) reflects the site boundaries illustrated and approved in an existing development authorisation under the Development Act 1993 or Planning, Development and Infrastructure Act 2016 where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments (c) satisfies all of the following: (i) No more than 5 additional allotments are created (ii) Each proposed allotment has a minimum site area of 300m ² and frontage of 9m (iii) Each proposed allotment has a slope less than 12.5% (1-in-8) (iv) There are no regulated trees on or within 20m of the subject land, with the distance measured from the base of the trunk of the tree (or the nearest trunk of the tree) to the subject land (v) The division does not involve creation of a public road (vi) Vehicle access from a public road can be provided to all proposed allotments which		

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	<p>satisfies Design in Urban Areas DTS/DPF 23.3, 23.4 and 23.6, and would be located wholly on one side of the allotment, or located no more than 1m from the side boundary alignment</p> <p>(vii) No allotments are in a battle-axe configuration and</p> <p>(viii) Each proposed allotment is of a size and dimension capable of containing a rectangle 9m in width and 15m in depth.</p>
Site Coverage	
PO 3.1 Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.	<p>DTS/DPF 3.1</p> <p>The development does not result in site coverage exceeding 60%.</p>
Building Height	
PO 4.1 Buildings contribute to a low-rise suburban character.	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) no greater than:</p> <ul style="list-style-type: none"> (a) 2 building levels and 9m and (b) wall height that is no greater than 7m except in the case of a gable end.
Primary Street Setback	
PO 5.1 Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.	<p>DTS/DPF 5.1</p> <p>The building line of a building set back from the primary street boundary:</p> <ul style="list-style-type: none"> (a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment) (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building or (c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.
Secondary Street Setback	
PO 6.1 Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the boundary of the allotment with a secondary street frontage:</p> <ul style="list-style-type: none"> (a) at least 900mm or (b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.

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Boundary Walls	
PO 7.1 Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.	DTS/DPF 7.1 Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below: (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height (b) side boundary walls do not: (i) exceed 3m in height from the top of footings (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.
PO 7.2 Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 7.2 Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.
Side boundary setback	
PO 8.1 Building walls are set back from side boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character and (b) access to natural light and ventilation for neighbours.	DTS/DPF 8.1 Other than walls located on a side boundary, building walls are set back from side boundaries: (a) at least 900mm where the wall height is up to 3m (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and (c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.
Rear boundary setback	
PO 9.1 Dwelling walls are set back from rear boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation.	DTS/DPF 9.1 Dwelling walls are set back from the rear boundary at least: (a) if the size of the site is less than 301m ² — (i) 3m in relation to the ground floor of the dwelling (ii) 5m in relation to any other building level of the dwelling (b) if the size of the site is 301m ² or more— (i) 4m in relation to the ground floor of the dwelling (ii) 6m in relation to any other building level of the dwelling.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.	Except development involving any of the following: 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted)	Except development that: 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).

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<ul style="list-style-type: none"> (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ol style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>
<p>6. Alteration of or addition to any development involving the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) community facility (b) educational establishment (c) pre-school. 	<p>Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
<p>Placement of Notices - Exemptions for Performance Assessed Development</p>	

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None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays**Affordable Housing Overlay****Assessment Provisions (AP)**

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.	DTS/DPF 2.1 None are applicable.

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Affordable Housing Incentives	
<p>PO 3.1</p> <p>To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.</p>	<p>DTS/DPF 3.1</p> <p>The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.</p>
<p>PO 3.2</p> <p>To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.</p>	<p>DTS/DPF 3.2</p> <p>Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> (a) Business Neighbourhood Zone (b) City Living Zone (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone (p) Urban Renewal Neighbourhood Zone (q) Waterfront Neighbourhood Zone <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> (a) the development is located within the Character Area Overlay or Historic Area Overlay or (b) other height incentives already apply to the development.
Movement and Car Parking	
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> (a) 0.3 carpark spaces per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> (i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (ii) is within 400 metres of a bus interchange⁽¹⁾ (iii) is within 400 metres of an O-Bahn interchange⁽¹⁾ (iv) is within 400 metres of a passenger rail station⁽¹⁾

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	<p>(v) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(vi) is within 400 metres of the Adelaide Parklands.</p> <p>or</p> <p>(b) 1 carpark per dwelling for any other dwelling.</p> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Airport Building Heights (Regulated) Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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Feature	
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated turbulence and windshear that may pose a safety hazard to aircraft flight movement.	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Defence Aviation Area Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of Defence Aviation Areas.	DTS/DPF 1.1 Building height does not exceed the relevant height specified by the Defence Aviation Area Overlay.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding) Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 3.1 Development avoids the need for flood protection works.	DTS/DPF 3.1 None are applicable.
PO 3.2 Development does not cause unacceptable impacts on any adjoining property by the diversion of flood waters or an increase in flood velocity or flood level.	DTS/DPF 3.2 None are applicable.
PO 3.3 Development does not impede the flow of floodwaters through the allotment or the surrounding land, or cause an unacceptable loss of flood storage.	DTS/DPF 3.3 None are applicable.
PO 3.4 Development avoids frequently flooded or high velocity areas, other than where it is part of a flood mitigation scheme to reduce flood impact.	DTS/DPF 3.4 Other than a recreation area, development is located outside of the 5% AEP principal flow path.
PO 3.5 Buildings are sited, designed and constructed to prevent the entry of floodwaters in a 1% AEP flood event where the entry of floodwaters is likely to result in undue damage to, or compromise ongoing activities within, buildings.	DTS/DPF 3.5 Buildings comprise one of the following: <ul style="list-style-type: none"> (a) a porch or portico with at least 2 open sides (b) a verandah with at least 3 open sides (c) a carport or outbuilding with at least 2 open sides (whichever elevations face the direction of the flow) (d) any post construction with open sides (e) a building with a finished floor level that is at least 300mm above the height of a 1% AEP flood event.
Environmental Protection	
PO 4.2 Development does not create or aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood.	DTS/DPF 4.2 None are applicable.
Site Earthworks	
PO 5.1 The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage.	DTS/DPF 5.1 None are applicable.

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PO 5.2 Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling.	DTS/DPF 5.2 Filling for ancillary purposes: (a) does not exceed 300mm above existing ground level (b) is no more than 5m wide.
Access	
PO 6.1 Development does not occur on land: (a) from which evacuation to areas not vulnerable to flood risk is not possible during a 1% AEP flood event (b) which cannot be accessed by emergency services vehicles or essential utility service vehicles during a 1% AEP flood event.	DTS/DPF 6.1 None are applicable.
PO 6.2 Access driveways and tracks to significant development (i.e. dwellings, places of work, etc.) consist of a safe, all-weather trafficable surface that is accessible during a 1% AEP flood event.	DTS/DPF 6.2 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding – General) Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and

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entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"> (a) maximise conservation of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage stormwater runoff quality. 	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> (a) includes rainwater tank storage: <ul style="list-style-type: none"> (i) connected to at least: <ul style="list-style-type: none"> A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area B. in all other cases, 80% of the roof area (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m² (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater (iv) with a minimum total capacity in accordance with Table 1 (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom

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		of the detention component of the tank
		(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area
		Table 1: Rainwater Tank
	Site size (m ²)	Minimum retention volume (Litres)
		Minimum detention volume (Litres)
	<200	1000
	200-400	2000
		Site perviousness <30%: 1000
		Site perviousness ≥30%: N/A
	>401	4000
		Site perviousness <35%: 1000
		Site perviousness ≥35%: N/A

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Urban Tree Canopy Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Trees are planted or retained to contribute to an urban tree canopy.	DTS/DPF 1.1 Tree planting is provided in accordance with the following:

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Site size per dwelling (m ²)	Tree size* and number required per dwelling
<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

*refer Table 1 Tree Size

Table 1 Tree Size			
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)
Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min.	2 medium trees

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		dimension of 3m	(or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
<p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p>			

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Water Resources Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is	DTS/DPF 1.1 None are applicable.

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required for essential access or maintenance purposes.	
PO 1.2 Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.	DTS/DPF 1.2 None are applicable.
PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to: (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.	DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.
PO 1.6 Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following: (a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.	DTS/DPF 1.6 None are applicable.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.
PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.	DTS/DPF 1.8 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies**Clearance from Overhead Powerlines****Assessment Provisions (AP)**

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Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Development is: (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not: (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway

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	(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.	DTS/DPF 7.1 None are applicable.
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	

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PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
Residential Development - Low Rise	
External appearance	

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PO 20.1 Garaging is designed to not detract from the streetscape or appearance of a dwelling.	DTS/DPF 20.1 Garages and carports facing a street: (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
PO 20.2 Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	DTS/DPF 20.2 Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway: (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.
PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable
Private Open Space	
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.

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Landscaping											
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line. 	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single width car parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. 										
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m. 										
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site 										

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	<p>(b) sites with a frontage to a public road greater than 10m:</p> <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

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Waste storage	
PO 24.1 Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 24.1 Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that: (a) has a minimum area of 2m ² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
Design of Transportable Buildings	
PO 25.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 25.1 Buildings satisfy (a) or (b): (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Group Dwellings, Residential Flat Buildings and Battle axe Development	
Amenity	
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Car parking, access and manoeuvrability	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.4	DTS/DPF 33.4

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Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Laneway Development	
Infrastructure and Access	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living</p>

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		room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
PO 11.2 Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
PO 12.1 Development is connected to an approved common wastewater	DTS/DPF 12.1 Development is connected, or will be connected, to an approved

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<p>disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. 	<p>common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. 	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. 	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <ul style="list-style-type: none"> a. for ground level private open space, the smaller of the following: <ul style="list-style-type: none"> i. half the existing ground level open space

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	<p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Site Contamination

Assessment Provisions (AP)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <p>(a) does not involve a change in the use of land</p> <p>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</p> <p>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</p> <p>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:</p> <p>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-</p> <p>A. site contamination does not exist (or no longer exists) at the land</p> <p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</p> <p>or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or</p>

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	<p>range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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Transport, Access and Parking

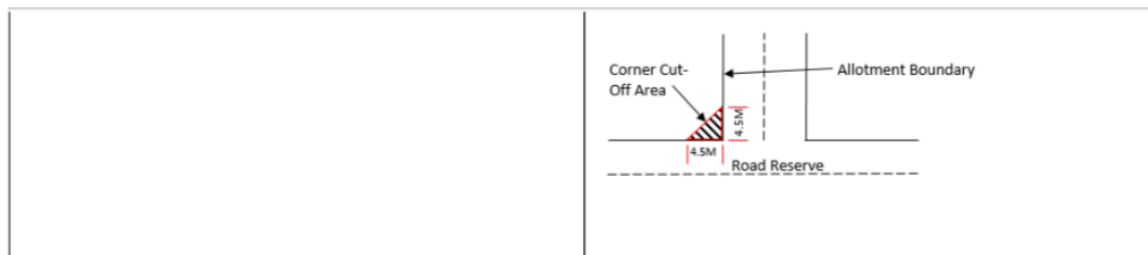
Assessment Provisions (AP)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p>

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**Table 1 - General Off-Street Car Parking Requirements**

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a</p>

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	bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation	
Retirement village	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan park / tourist park	<p>Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.</p> <p>Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.</p> <p>A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.</p>
Tourist accommodation	1 car parking space per accommodation unit / guest room.
Commercial Uses	
Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Call centre	8 spaces per 100m ² of gross leasable floor area.
Motor repair station	3 spaces per service bay.
Office	4 spaces per 100m ² of gross leasable floor area.

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Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	2.5 spaces per 100m ² of gross leasable floor area 1 space per 100m ² of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m ² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. 5 spaces per 100m ² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat. Premises with take-away service but with no seats - 12 spaces per 100m ² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point. Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses	
Childcare centre	0.25 spaces per child
Library	4 spaces per 100m ² of total floor area.
Community facility	10 spaces per 100m ² of total floor area.
Hall / meeting hall	0.2 spaces per seat.
Place of worship	1 space for every 3 visitor seats.
Pre-school	1 per employee plus 0.25 per child (drop off/pick up bays)
Educational establishment	For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site. For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.

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	For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.
Health Related Uses	
Hospital	4.5 spaces per bed for a public hospital. 1.5 spaces per bed for a private hospital.
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	6.5 spaces per 100m ² of total floor area for a Fitness Centre 4.5 spaces per 100m ² of total floor area for all other Indoor recreation facilities.
Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m ² total floor area 1 spaces per 100m ² of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	1.5 spaces per 100m ² of total floor area 1 space per 100m ² of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria) or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas	
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.			
	Minimum number of spaces	Maximum number of spaces		
Development generally				
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone	
			City Main Street Zone	
			City Riverbank Zone	
			Adelaide Park Lands Zone	
			Business Neighbourhood Zone (within the City of Adelaide)	
			The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone	
Non-residential development				
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	5 spaces per 100m ² of gross leasable floor area.	City Living Zone	
			Urban Corridor (Boulevard) Zone	
			Urban Corridor (Business) Zone	
			Urban Corridor (Living) Zone	
			Urban Corridor (Main Street) Zone	

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			Urban Neighbourhood Zone
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	6 spaces per 100m ² of gross leasable floor area.	Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Business Neighbourhood Zone Suburban Main Street Zone Urban Activity Centre Zone
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone
Residential development			
Residential component of a multi-storey building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Strategic Innovation Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for	None specified.	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone

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	visitor parking.		
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Table 2 - Criteria:

The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p> <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p>

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

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LOT 82 HISSAR AV SALISBURY NORTH SA 5108**Address:**Click to view a detailed interactive [SALES](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Local Variation (TNV)**

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)

Affordable Housing

Building Near Airfields

Defence Aviation Area (All structures over 15 metres)

Hazards (Flooding)

Hazards (Flooding - General)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

Water Resources

Zone

General Neighbourhood

Selected Development(s)

Tree-damaging activity

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Tree-damaging activity - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a

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<ul style="list-style-type: none"> (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<p>boundary with a primary street or secondary street or an excluded boundary) and:</p> <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>
<p>6. Alteration of or addition to any development involving the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) community facility (b) educational establishment 	<p>Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.</p>

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(c) pre-school.	
7. Demolition.	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
<p>PO 1.1</p> <p>Regulated trees are retained where they:</p> <ol style="list-style-type: none"> (a) make an important visual contribution to local character and amenity (b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or (c) provide an important habitat for native fauna. 	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Significant trees are retained where they:</p> <ol style="list-style-type: none"> (a) make an important contribution to the character or amenity of the local area (b) are indigenous to the local area and are listed under the 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

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<p><i>National Parks and Wildlife Act 1972 as a rare or endangered native species</i></p> <p>(c) represent an important habitat for native fauna</p> <p>(d) are part of a wildlife corridor of a remnant area of native vegetation</p> <p>(e) are important to the maintenance of biodiversity in the local environment and / or</p> <p>(f) form a notable visual element to the landscape of the local area.</p>	
<p>PO 1.3</p> <p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <p>(a) tree damaging activity is only undertaken to:</p> <p>(i) remove a diseased tree where its life expectancy is short</p> <p>(ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like</p> <p>(iii) rectify or prevent extensive damage to a building of value as comprising any of the following:</p> <p>A. a Local Heritage Place</p> <p>B. a State Heritage Place</p> <p>C. a substantial building of value</p> <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <p>(iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire</p> <p>(v) treat disease or otherwise in the general interests of the health of the tree and / or</p> <p>(vi) maintain the aesthetic appearance and structural integrity of the tree</p> <p>(b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>A tree-damaging activity in connection with other development satisfies all the following:</p> <p>(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible</p> <p>(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
Ground work affecting trees	
<p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

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not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support their retention and health.	
Land Division	
<p>PO 3.1</p> <p>Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant trees as far as is reasonably practicable.</p>	<p>DTS/DPF 3.1</p> <p>Land division where:</p> <ul style="list-style-type: none"> (a) there are no regulated or significant trees located within or adjacent to the plan of division or (b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

ITEM	8.1.4
	COUNCIL ASSESSMENT PANEL
DATE	26 April 2023
APPLICATION NO.	22038407
APPLICANT	Rossdale Homes
PROPOSAL	Seven (7) Single Storey Dwellings and Private Driveway
LOCATION	20 Hissar Avenue, Salisbury North SA 5108 Lot 82 Hissar Avenue, Salisbury North SA 5108 Lot 322 Holstein Drive, Salisbury North SA 5108 Lot 279 Holstein Drive, Salisbury North SA 5108 (Proposed Allotments 1 - 7 in Land Division 22036926 - 361/C566/22)
CERTIFICATE OF TITLE	CT-5133/607; CT-3265/15; CT-5483/909; CT-5740/195
AUTHOR	Kieron Barnes, Planning Consultant, City Development

1. DEVELOPMENT APPLICATION DETAILS

Zone/Policy Area	General Neighbourhood
Application Type	Performance Assessed
Public Notification	N/A
Referrals - Statutory	N/A
Referrals – Internal	Development Engineer
Planning and Design Code Version	2023.3
Assessing Officer	Kieron Barnes – Planning Consultant (Planning Studio)
Recommendation	Grant Planning Consent subject to Reserved Matters and Conditions

2. REPORT CONTENTS

This Report provides an assessment of the proposed development against the relevant provisions of the Planning and Design Code. This assessment has been based on a review of the following plans and documents which are appended to this report:

Attachment 1:	Proposal Plans and Supporting Documentation
Attachment 2:	Extract of Planning and Design Code

3. EXECUTIVE SUMMARY

The proposed development seeks to construct 7 single-storey dwellings which will front a proposed private road (in the form of Common Property) that connects to Horwood Road.

The proposed development is proceeding in accordance with a non-statutory Masterplan that has been endorsed by the City of Salisbury for the Lake Windermere Reserve and reflects the formal partnership arrangement between the City of Salisbury and Rossdale Developments.

The applicant (Rossdale Developments) has lodged four separate Development Applications. This includes two land division applications and two 'built-form' applications. Combined, these applications will establish 35 residential allotments over the subject site (28 Torrens Title allotments and 7 Community Title allotments) as well as 35 single-storey dwellings. The various applications also propose the creation of a public and private road as well as associated infrastructure to service the 35 dwellings.

Located within the General Neighbourhood Zone, the entire development spans the following four allotments which comprise Lake Windermere Reserve:

- 20 Hissar Avenue, Salisbury North;
- Lot 82 Hissar Avenue, Salisbury North;
- Lot 322 Holstein Drive, Salisbury North; and
- Lot 279 Holstein Drive, Salisbury North

Dwellings are excluded from notification in the General Neighbourhood Zone. Also, the proposed development did not trigger any statutory referrals.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in the construction of seven single-storey dwellings which will complement the existing low-density and low-rise character of the locality and which will not create any adverse impacts on existing development; and
- Represents an orderly expansion of the existing low-density residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Reserved Matters and Conditions.

4. BACKGROUND

Located within Salisbury North, Lake Windermere Reserve (the 'Reserve') is owned and managed by the City of Salisbury (the 'Council'). The heavily vegetated Reserve provides an important recreational and environmental asset for the surrounding residential area.

For some time now, the Council has been working on the development and implementation of a Masterplan for the Reserve (see Figure 1). The Masterplan was initiated following the 2007 closure and eventual demolition of the Salisbury North Community Centre which was previously located in the north-eastern corner of the Reserve fronting Hissar Avenue.

Figure 1: Lake Windermere Reserve Masterplan (Source: City of Salisbury)



A key element of the Masterplan is the establishment of a new residential development on the portion of the Reserve on which the Community Centre was formerly located as well as along a portion of the northern boundary of the Reserve (as an extension of Horwood Road). Accordingly, the Council has entered into a partnership arrangement with Rossdale Developments to deliver the residential component of the Masterplan. It is understood that the sale of a portion of the land for residential development will assist to fund various upgrades and improvements to the Reserve including flood mitigation works. Importantly, the Masterplan proposes the planting of a substantial number of additional trees within the Reserve – particularly in the north-western corner. These works, along with the proposed residential development, are illustrated on the endorsed Masterplan for the Reserve.

Given that the Reserve is classified as Community Land, a revocation process was required to enable a portion to be sold and developed for housing. This process, which was managed by the Council, followed extensive consultation with the community over a number of years.

Following the revocation process, a series of Development Applications have been lodged by Rossdale Developments which, ultimately, will establish 35 single-storey dwellings with associated roads and infrastructure in the north-eastern corner of the Reserve. The overall proposed development is illustrated in Figure 2 below.

[illegible]

While the proposed development will proceed via four separate Development Applications, the applications are closely integrated and are dependent on one another. For this reason, a holistic assessment approach has been adopted which is reflected in the three reports which are present to the CAP for consideration.

Given the Reserve is owned and managed by the Council, the Minister for Planning was requested to ‘call-in’ the development application to be assessed by the State Planning Commission rather than the Council’s Assessment Manager. The ‘call-in’ was requested to avoid a perceived conflict of interest. However, the Minister for Planning’s Delegate declined the ‘call-in’ request and noted that the Council could appoint the Council Assessment Panel (CAP), as an independent body, to assess the proposal, thereby removing the perceived conflict of interest.

As a consequence of the above, the Assessment Manager, as the relevant authority, has delegated to the Salisbury Council Assessment Panel the power pursuant to s102(1)(a) of the *Planning, Development & Infrastructure Act 2016* to assess development application number 22038407 for Seven (7) Single Storey Dwellings and Private Driveway against the relevant provisions of the Planning Rules, & to grant or refuse planning consent; together with the power pursuant to s127 of the Act to impose any conditions it thinks fit to impose in the event that it grants planning consent.

Further to the above and, consistent with the Council’s Policy in relation to development undertaken by the Council, an independent planning consultant has been engaged to assess the application and prepare an assessment report for consideration by the CAP.

5. SUBJECT LAND AND SUBJECT SITE

The subject land comprises four parcels of land as follows:

- 20 Hissar Avenue (Allotment 21), Salisbury North
- Lot 82 Hissar Avenue, Salisbury North
- Lot 322 Holstein Drive, Salisbury North
- Lot 279 Holstein Drive, Salisbury North

Combined, these allotments form the Lake Windermere Reserve (noting that 20 Hissar Avenue previously accommodated the Salisbury North Community Centre which has now been demolished).

The Reserve is approximately 6 hectares in area and is surrounded on three sides by Holstein Drive, Swinstead Crescent, Ferguson Street and Hissar Avenue. The northern side of the Reserve borders the Lake Windermere Children’s Centre (pre-school) and Lake Windermere Primary School. Horwood Road and a number of dwellings adjoin the north-eastern corner of the Reserve.

The Reserve features a substantial amount of mature vegetation which is scattered around a central lake. A series of walking trails and recreational facilities (in the form of a playground) are also located in the Reserve.

The subject site (i.e. the portion of the subject land on which the dwellings will be located), is 1,904m² in area and is located in the north-eastern corner of the Reserve adjoining the existing residential area. The subject site will be created via the Torrens Title land division (Lot 1002) and will be further divided into seven Community Title allotments plus a Common Property driveway which connects to Horwood Road.

Apart from a number of landscaped mounds of earth, the site generally slopes down towards the lake in the centre of the Reserve. Portions of the subject land and the subject site fall within the Hazards (Flooding) and Hazards (Flooding General) Overlays. However, it is understood that the Council has recently undertaken flood mitigation works with a specific focus on the Reserve.

A four metre wide easement in favour of the Minister for Infrastructure is noted on Certificate of Title Volume 5483 Folio 909. This easement runs along the northern boundary of the Reserve (within Allotment 322). The portion of the easement which is within the subject site, will be contained within a private road (Common Property) as part of the separate Community Title land division. Therefore, the existing easement will be retained as part of the overall residential development which will ensure that suitable access is maintained.

Site photos are provided below:

Photo 1:
*View North-
West along
Horwood
Road*



Photo 2:
*Cul-de-sac
at north-
western end
of Horwood
Road, with
School on
the right*



Photo 3:
*Within the
site,
generally
looking
north
towards the
proposed
community
title
development*



Photo 4:
Looking
south-east
along the
School
fence line
(community
titled
development
area on
right hand
side)






6. LOCALITY

The locality is generally defined as comprising the Reserve, the adjoining Lake Windermere School and Children's Centre as well as the adjacent residential development to the north-east and east fronting Horwood Road and Hissar Avenue.



Apart from the School and the Reserve, the locality is generally residential in character and nature reflecting the land uses sought in the General Neighbourhood Zone. Housing in the locality predominantly comprises single-storey detached dwellings on allotments ranging from approximately 400m² to approximately 800m² in area. Dwellings are typically setback approximately 6 to 8 metres from the primary frontage and generally feature generous rear yards which often contain domestic outbuildings.

A locality plan and contextual plan are provided below on the following page.

Locality Plan – Aerial**Legend (Source: NearMap)**



	Site boundary
	Development Site
	Locality boundary

Contextual Plan:**Legend (Source: SAPPA)**

	Site boundary
	Development Site

Contextual Plan:



Legend (Source: Nearmap)	
	Site boundary
	Development Site

7. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed development seeks the construction of seven single-storey dwellings which will be located on individual Community Title allotments created via DA 22036926. Each allotment will front a private road (also created via DA 22036926) and will be serviced by water, power and sewer infrastructure which will be located within the Common Property.

The sites for the dwellings will be rectangular in shape and individually will range in area from 191m² to 250m² resulting in an average site area of 207m² (excluding the driveway) and 272m² overall development site. Frontages will vary from a minimum of 7.23 metres to a maximum of 9.72m (Lot 7).

Bulk earthworks and retaining walls (where required) will be undertaken as part of the Torrens Title land division application. Similarly, boundary fencing will be constructed as part of the land division application.

As mentioned, the detached dwellings will be single-storey in height and will feature three bedrooms, an open plan family, meals and kitchen area as well laundries, bathrooms and separate ensuites attached to the main bedroom.

Each dwelling will be provided with a double width carport sited near the private road. The carports will be open on three sides and will feature a panel lift door facing the private road.

The dwellings will abut one another thereby giving the appearance of row-dwellings when viewed from the private road.

In terms of setbacks, the dwellings will face the Reserve to the south and will be setback approximately 2.2 metres from this boundary. While the dwellings will be setback approximately 10 metres from the private road, the carport will be located within this area, close to the private road.

Private open space will be provided between the carports and northern end of the dwellings. The plans also indicate that a small tree (Ornamental Pear Tree) will be planted in the front (southern) yard of each dwelling.

The dwellings achieve an average site coverage of 65.57% with sites ranging from a minimum site coverage of 59% (Lot 1) to a maximum of 68% (Lots 1 to 6). Similarly, the dwellings achieve an average area of private open space of 28m² which varies from a minimum of 25m² (Lots 1 to 6) to a maximum of 40m² (Lot 1).

The dwellings feature a contemporary, simple design with hipped colorbond roofs, rendered masonry walls and panel lift carport doors.

A copy of the proposal plans and supporting documentation is contained in Attachment 1.

8. CLASSIFICATION

Dwellings are Performance Assessed developments in this portion of the General Neighbourhood Zone. Therefore, the proposed development must be assessed against the relevant provisions of the Planning and Design Code.

9. PUBLIC NOTIFICATION

Clause 3 of Table 5 of the General Neighbourhood Zone excludes dwellings from notification except under certain circumstances. These circumstances include buildings with a height greater than 2 building levels and 9 metres or where a wall that exceeds 11.5 metres in length or 3 metres in height is located on an allotment boundary.

Given that the proposed dwellings are only 1 building level and abutting walls of the dwellings are on an 'excluded boundary', the proposed development did not require notification.

10. REFERRALS – STATUTORY

The proposed development did not trigger any statutory referrals.

11. REFERRALS – INTERNAL

Department	Summarised Comment
<i>Development Engineer</i>	<i>The application was referred to Council’s Development Engineer to review the civil outcomes of the proposed development. The finished floor levels and overall stormwater design was found to be acceptable, noting that further detailed design information will be provided as part of the concurrent land division applications, with respect to various civil outcomes. Notwithstanding, a Reserved Matter is recommended to ensure that detailed civil plans are provided for final review.</i>

12. ASSESSMENT

Pursuant to Section 107(2)(c) of the *Planning, Development and Infrastructure Act*, it is recommended that the Panel determine that the proposed development is not seriously at variance with the Planning and Design Code. The following reasons are given in support of this recommendation:

- a) The proposed development involves the construction of seven low-density and low-rise dwellings which are envisaged forms of development in the General Neighbourhood Zone; and
- b) The proposed development will not create an adverse impact on the amenity of locality (noting that the proposed single-storey detached dwellings will complement the existing residential character of the locality).

Assessment

A detailed assessment of the application against the relevant provisions of the Planning and Design Code is outlined under a series of headings below. Further, a Policy Enquiry containing the relevant provisions of the Planning and Design Code relating to the proposed development on the subject land, is contained in Attachment 2.

Overlays

A summary of the proposed development’s compliance with the relevant Overlays affecting the subject land is provided in the table below.

Overlay	Assessment
Affordable Housing	Not applicable.
Airport Building Heights (Regulated) (All structures over 45 metres)	Satisfies – the dwellings will not exceed 45 metres in height.
Building Near Airfields	Satisfies – the development will not impact on the operational and safety requirements of an airfield.
Defence Aviation Area (All structures over 15 metres)	Satisfies – the dwellings will not exceed 15 metres in height.

Hazards (Flooding)	Satisfies – the proposed earthworks and retaining walls have addressed as part of the land division application and have been designed to ensure that the dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Hazards (Flooding - General)	Satisfies – the proposed earthworks and retaining walls have been addressed as part of the land division application and have been designed to ensure that the dwellings are sited to minimise exposure of people and property to unacceptable flood risk.
Prescribed Wells Area	Not applicable
Regulated and Significant Tree	See detailed discussion below.
Stormwater Management	Satisfies – the development will proceed in accordance with an overarching stormwater management plan including Water Sensitive Urban Design techniques.
Urban Tree Canopy	Satisfies – street trees will be planted along both side of the public road as part of the land division proposal, and each dwelling will include the planting of one tree (facing the Reserve).
Water Resources	Not applicable – the proposed development will not impact on a watercourse.

Local Variation (TNV)

Development on the subject land will not impact on the operation of the Edinburgh Defence Airfield as it will not involve upward lighting. Accordingly, the requirements of Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints) have been satisfied.

Site Dimensions

The following Desired Outcomes (DO), Performance Outcomes (PO) and corresponding Deemed to Satisfy / Designated Performance Features (DTS/DPF) of the General Neighbourhood Zone are considered key to an assessment of the proposed size and dimension of sites of the proposal.

POs 2.1 and the associated DTS/DPF of the General Neighbourhood Zone provide guidance in relation to the size and dimension of sites for residential purposes.

PO 2.1

Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.

DTS/DPF 2.1

*Development will not result in more than 1 dwelling on an existing allotment
or
Allotments/sites for residential purposes accord with the following:*

Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Semi-detached dwelling	300m ²	9m
Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
Group dwelling	300m ² (average, including common areas)	15m (total)
Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)

In relation to DTS/DTF 2.1, it is noted that the associated land division application will create sites suitable for dwellings. It is further noted that DTS/DPF 2.1 seeks a minimum site area of 250m² and a minimum frontage of 7 metres for row dwellings or detached dwellings in a terrace arrangement. While the proposed dwellings do not meet the definition of row dwellings (as they do not front a public road), they will function and look very similar to row dwellings or detached dwellings in a terrace arrangement. On this basis, it is considered appropriate to assess the development against the minimum site area of 250m² and minimum frontage of 7m identified in DTS/DPF 2.1 for row dwellings or detached dwelling in a terrace arrangement.

As noted previously in this report, the proposed site areas vary from 191m² to 250m² resulting in an average site area of 207m² (excluding the driveway) and 272m² overall development site. Frontages will vary from a minimum of 7.23 metres to a maximum of 9.72m (Lot 7).

It is noted that, apart from Lot 4, the proposed sites will fall short of the desired 250m² for row dwellings. However, each dwelling will achieve the minimum desired frontage of 7 metres.

Given the departure from the quantitative standards within DTS/DPF 2.1, it is necessary to assess the proposal's compliance against PO 2.1. Accordingly, it is noted that the proposed development adjoins a valuable substantial area of public open space (Lake Windermere Reserve) and is within close walking distance of a pre-school and primary school. On this basis, the proposed development satisfies PO 2.1's desire for higher residential densities close to public open space. In saying this, the proposed dwellings will remain compatible with the low-rise and predominantly low-density neighbourhood.

Design, Appearance and Amenity

The proposed dwellings, along with the associated land division, will establish an orderly and coordinated extension of the existing residential area to the east of the Reserve. The dwellings will be located on appropriately sized and dimensioned allotments which will be serviced by essential infrastructure. While the allotments will be smaller than the existing pattern of residential development in the area, the associated dwellings will be designed and sited in accordance with their associated allotment. In this way, the proposed development will complement the existing character of the locality while also taking advantage of the attractive outlook provided by the adjoining Lake Windermere Reserve.

Given the proposed development's clear alignment with the broad intent of the General Neighbourhood Zone, it was considered appropriate to undertake the following assessment summary, to demonstrate the proposal's alignment with the Planning and Design Code:

- While the dwellings slightly exceed the 60% sought by DTS/DPF 3.1 of the Zone, they will satisfy PO 3.1 by providing sufficient space around the buildings to limit visual impact, provide an attractive outlook and access to light and ventilation;
- The heights of the dwellings will meet DTS/DPF 4.1 of the Zone;
- The dwellings will be setback a sufficient distance from the private road to contribute to the emerging pattern of street setbacks in the streetscape (as sought by PO 5.1 of the Zone) while also providing sufficient space for off-street parking within the double-width carports;
- The rear setbacks of the dwellings are satisfactory, and where they don't meet the quantitative guideline (as expressed in DTS/DPF 9.1 of the Zone), they do meet the qualitative provisions which seek appropriate separation between buildings to contribute to the suburban character, to allow access to natural light and ventilation and to provide appropriate space for private open space and landscaping;
- The dwellings will satisfy the quantitative Private Open Space standard expressed in Design in Urban Areas Table 1 – Private Open Space. Also, each dwelling is provided with suitable sized areas of usable private open space to meet the needs of occupants which is positioned to provide convenient access from internal living areas (as sought by POs 18.1, 21.1 and 21.2 of the Design in Urban Areas General Development Policies);
- Each dwelling will incorporate windows facing the Reserve to encourage passive surveillance and make a positive contribution to the streetscape while also incorporating entry doors facing the Reserve to provide a legible entry point for visitors (as sought by POs 17.1 and 17.2 of the Design in Urban Areas General Development Policies);
- Each dwelling will be provided with a suitable amount of landscaping including a small tree and lawn to assist with heat reduction and enhance the appearance of land and streetscapes (as sought by PO 22.1 of the Design in Urban Areas General Development Policies);
- Appropriate car parking, access and maneuverability will be provided for each dwelling in terms of the garages, uncovered off-street parking spaces as well as driveways and access points (as sought by POs 23.1 and 23.6 of the Design in Urban Areas General Development Policies); and
- Appropriate storage areas for waste bins will be provided for each dwelling (as sought by PO 24.1 of the Design in Urban Areas General Development Policies).

13. CONCLUSION

The City of Salisbury has entered into a partnership arrangement with Rossdale Developments to establish a residential development in the north-eastern corner of Lake Windermere Reserve. The proposed residential development is consistent with the Masterplan that has been endorsed for the Lake Windermere Reserve and which was prepared with the assistance of the local community over a number of years.

The proposed development seeks to construct seven single-storey dwellings which will front a private road and provide an outlook to Lake Windermere Reserve.

The proposed dwellings are of a form and design that is anticipated in the General Neighborhood Zoe. Also, the development will ensure that the remaining portion of Lake Windermere Reserve will continue to function as a valuable recreational and open space facility for the local and broader community.

The design and siting of the proposed dwellings generally aligns with the provisions of the Planning and Design Code. Also, the dwellings will provide suitable levels of amenity for the future residents while also complementing the existing low-density character of the locality.

This report provides a detailed assessment of the application against the relevant provisions of the Planning and Design Code. This assessment has concluded that the proposed development:

- Will result in the construction of seven single-storey dwellings which will complement the existing low-density and low-rise character of the locality and which will not create any adverse impacts on existing development; and
- Represents an orderly expansion of the existing low-density residential area surrounding Lake Windermere Reserve.

For the above reasons, it is recommended the Council Assessment Panel grant Planning Consent subject to Reserved Matters and Conditions.

14. STAFF RECOMMENDATION

That the Council Assessment Panel resolve that:

- A. The proposed development is not considered to be seriously at variance with the Planning and Design Code.
- B. Pursuant to Section 107 of the Planning, Development and Infrastructure Act 2016, t Planning Consent is **GRANTED** to application number 22038407 for Seven (7) Single Storey Dwellings and Private Driveway in accordance with the plans and details submitted with the application and subject to the following conditions:

Reserved Matters:

The following matter/s shall be submitted for further assessment and approval by the Team Leader Planning, as delegate of the Council Assessment Panel, as Reserved Matters under Section 33(3) of the Development Act 1993:

1. Civil and Siteworks Plan, prepared by a qualified and experienced engineer, for all civil and stormwater works, which shall address all of the following:
 - a) Finished floor levels for all buildings and hardstand surfaces; and
 - b) Cut/fill details; and
 - c) Retaining walls, kerbing or ramps, their design and grades; and
 - d) Pavement design details and gradients; and
 - e) Car parking dimensions, aisle widths, circulation movements and associated pavement markings and signage; and
 - f) Stormwater management arrangements, including accompanying design calculations, which consider the minor storm (18.3% AEP) and major storm (1% AEP) events; and
 - g) Water sensitive urban design measures; and
 - h) Surface water treatment.

Planning Conditions

1. The proposal shall be developed in accordance with the details and Council stamped approved plans lodged with the application, except where varied by the conditions herein.
2. The external surfaces of the buildings shall:
 - a) be of new non-reflective materials; and
 - b) be finished in natural tones; and
 - c) be maintained in good condition at all times.
3. The invert, crossover and driveway shall be constructed with brick paving or concrete, prior to occupation of each dwelling, in accordance with Council's Vehicle Crossover Standard Detail, Drawing SD-12, SD-13 and SD-14 and shall be maintained at all times thereafter to the reasonable satisfaction of Council.
4. Designated landscaping areas shall be planted with shade trees, shrubs and ground covers in accordance with the Approved Site Plans (prepared by Rosedale Homes).

All landscaping shall be completed within 12 months from the date of occupation and shall be maintained at all times thereafter to the reasonable satisfaction of Council (including the replacement of diseased or dying plants and the removal of weeds and pest plants).
5. Tree planting shall be undertaken within 12 months from the date of occupation of the dwelling in accordance with the following table:
 - Where allotment is less than 450 square metres, 1 small tree; or

- Where allotment between 450 square metres and 800 square metres, 1 medium tree or 2 small trees; or
- Where allotment between 800 square metres, 1 large tree or 2 medium trees or 4 small trees.

Except where otherwise Approved, the tree planting shall be maintained in good health and condition at all times thereafter.

Note: For meaning of tree sizes, please refer to the Urban Tree Canopy Overlay, Planning and Design Code.

6. Rainwater tank storage shall be provided, prior to occupation of the dwelling, in accordance with all of the following:
 1. Connected to at least 60% of the roof area; and
 2. Connected to one toilet;
 3. The laundry cold water outlets or hot water service; and
 4. Have a minimum tank capacity of 2,000 litres for retention; and
 5. Where site perviousness is less than 30% of the total site area, 1,000 litres for detention; and
 6. Where detention is required, includes a 20-25mm diameter slow release orifice at bottom of the detention component of the tank (or tanks).

The rainwater tank storage shall remain in place at all times thereafter.

Advice Notes

Rights of Appeal

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Building Rules Consent and Approval Still Required

Building Consent and Development Approval must be obtained within 24 months from the date of this Notification, unless this period has been extended by the Council. Work cannot commence until a Development Approval is obtained.

Commencement

The development shall be lawfully commenced by substantial work on the site of the development within 2 years from the date of Development Approval. If substantial work on

the site has occurred within 2 years, the development shall be substantially or fully completed within 3 years from the date of Development Approval.

Advice regarding Council land

This Development Approval does not constitute land owners approval. The following applies to any works on Council land:

1. Any person making alteration to Council land including erecting or installing a structure (pipes, wires, cables, fixtures, fittings), storing building materials, erecting temporary fencing, altering the kerb, gutter, footpath or crossover etc. in, on, under or over Council land, is subject to a permit from Council pursuant to Section 221 of the *Local Government Act 1999*.
2. Service infrastructure should be located as far as practicable away from street trees, in order to protect the root zone and to prevent future damage to the infrastructure from root expansion.
3. Residents and businesses are encouraged to develop and maintain the verge area between their property boundary and the kerb. However, some types of development such as irrigation, tree planting and landscaping may be restricted in some areas and therefore permission should be first sought from Council before commencing any works;

It is the developers/owners responsibility to ensure that damage does not occur to verge infrastructure during construction. Council regularly inspects the condition of verge infrastructure during construction and where damage is observed, Council may recover the costs from the owner for reinstatement of any damage to the footpath, kerb or gutter and may also impose a substantial penalty for any wilful damage.

Siting of Building Work

It is your responsibility to ensure that any building work is correctly sited with respect to the property boundaries of the site and it is strongly recommended that a boundary survey be undertaken before any work commences to ensure the building work is accommodated within the designated footprint and achieves the designated boundary setbacks.

Plans Available Onsite

The Council approved plans should be available on site at all times while performing the building work.

Fences Act

You will need to obtain your permission from your neighbour should you wish to access their property to carry out construction work adjacent the boundary or if you wish to erect common boundary fencing or boundary retaining walls, pursuant to the *Fences Act 1975*. To find out more, please visit: <https://lsc.sa.gov.au/resources/fencesandthelawbooklet.pdf>

Building Work Affecting Other Land

Pursuant to Section 139 of the *Planning, Development and Infrastructure Act 2016*, a person undertaking activity that affects stability of land or premises must serve notice in the prescribed form to the owner of the affected site. For the purposes of Section 139, work of the following nature is prescribed as building work which is to be treated for the purposes of that section as building work that affects the stability of other land or premises, namely:

- An excavation which intersects a notational plane extending downwards at a slope of 1 vertical to 21 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site;
- An excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation;
- Any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200mm in depth (or height) and is for landscaping, gardening or other similar purposes.

To find out more, please visit:

<https://lawhandbook.sa.gov.au/ch28s02s06s03.php>

Construction Noise

The applicant is reminded that demolition and construction is required to be carried out so that it complies with the mandatory construction noise provisions of Part 6, Division 1 of the *Environment Protection (Noise) Policy 2007* and the provisions of the *Local Nuisance and Litter Control Act 2016*. Under the *Local Nuisance and Litter Control Act 2016*, construction noise is declared to constitute a local nuisance as follows:

The noise has travelled from the location of the construction activity to neighbouring premises –

- *On any Sunday or public holiday;*
- *After 7pm or before 7am on any other day.*

EPA and Local Nuisance Matters

The applicant is reminded of its general environmental duty, as required by Section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.

In addition, the applicant is responsible for ensuring the development (including demolition, civil works and construction activities) do not cause a 'local nuisance' under the *Local Nuisance and Litter Control Act 2016*

Accordingly, your site planning activities should consider:

- providing a stabilised entry/exit point to the site for all construction and trade vehicles, including contained wash down area for vehicles and equipment
- appropriately located stockpiles and storage materials
- a suitable and designated area for brick cutting and concrete works
- a contained area for paint and plastering waste and wash waters
- appropriate location of noisy equipment so as to avoid unreasonable impacts to neighbours
- dust control measures such as use of a water cart and/or covering stockpiles

Note: EPA information sheets, guidelines documents, codes of practice, technical bulletins etc. can be accessed on the following web site: <http://www.epa.sa.gov.au>.

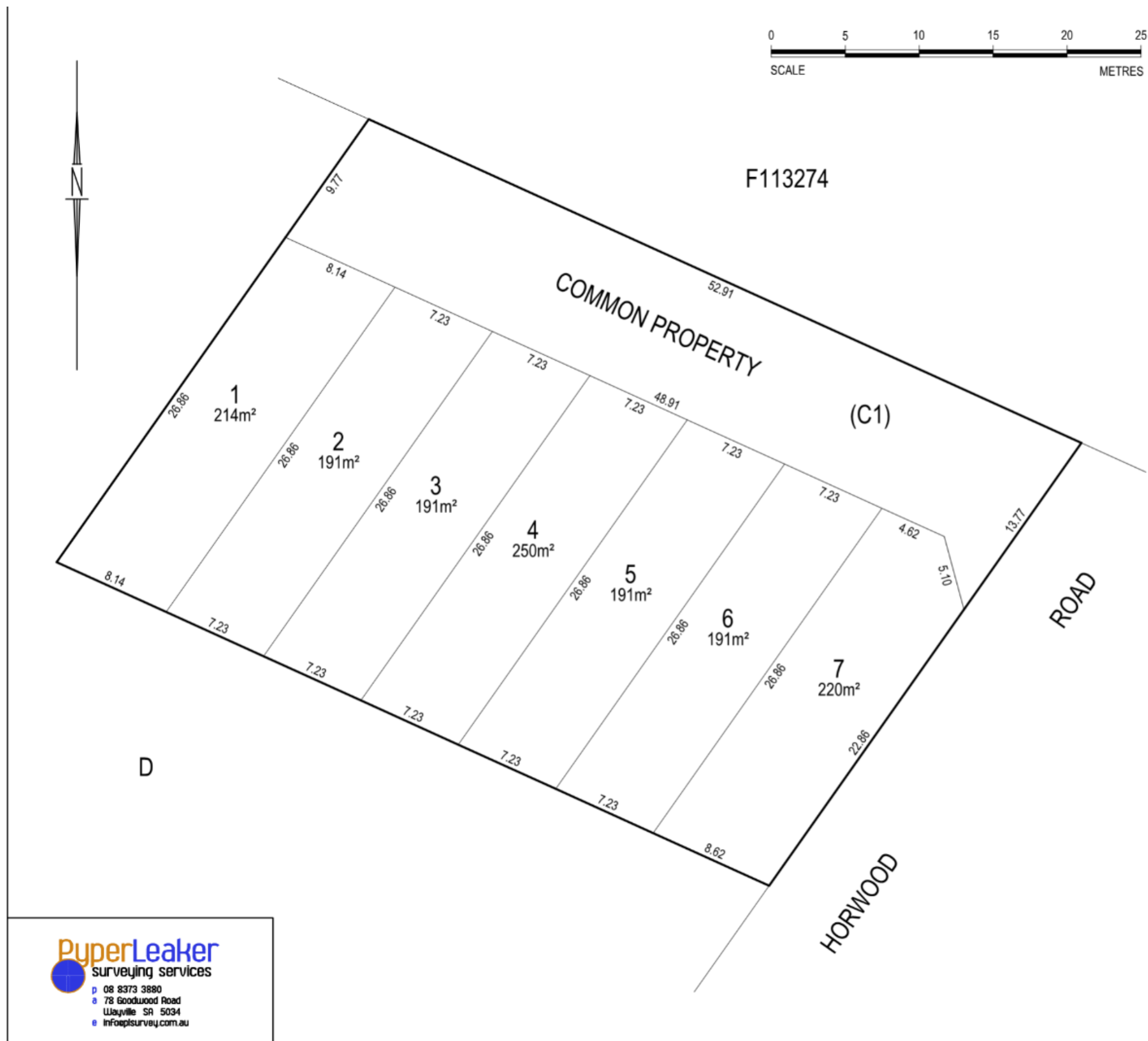
ATTACHMENTS

This document should be read in conjunction with the following attachments:

1. Proposal Plans and Supporting Documentation
2. Extract of Planning and Design Code

Appendix 1

Proposal Plans and Supporting Documentation



PROPOSED COMMUNITY DIVISION	
Council: CITY OF SALISBURY	
DEV. No.:	
TITLE SYSTEM: REAL PROPERTY ACT	
TITLE REFERENCE:	PT CT 5483 / 909
TOTAL AREA:	1904m ²
MAP REFERENCE:	6628 / 22 / R
HUNDRED:	MUNNO PARA
AREA:	SALISBURY NORTH
<h2 style="margin: 0;">ALLOTMENT 322 IN D10070</h2> <h2 style="margin: 0;">HOLSTEIN DRIVE</h2>	
STATEMENTS CONCERNING EASEMENTS ANNOTATIONS AND AMENDMENTS	
<p>THE COMMON PROPERTY IS DESIGNATED (C1) FOR LAND INFORMATION PURPOSES ONLY AND DOES NOT PROVIDE A LEGAL IDENTIFIER FOR THE COMMON PROPERTY</p>	
<p>NOTE:</p> <p>THIS PLAN WAS PREPARED AS A PROPOSED SUBDIVISION AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE DIMENSIONS SHOWN HEREON ARE SUBJECT TO SURVEY AND THE REQUIREMENTS OF COUNCIL AND OTHER RELEVANT AUTHORITIES.</p> <p>NO RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS INVOLVING THIS LAND. THIS NOTE IS AN INTEGRAL PART OF THE PLAN.</p>	
SCALE 1:250 (A3)	REVISION: 0
DATA SUBJECT TO SURVEY	
DATE: 28/10/2022	SEM REF: PL12440



DATE: DATE: BUILDER: OWNER: DATE:

The figure is a detailed site development plan for a residential lot. The lot is bounded by Horwood Road to the north and east, and a reserve to the south. The overall dimensions are 12280m wide and 3613m deep. The plan includes a carport (5.50 x 5.80) with a 2700mm ceiling height and 90x90 duragal posts. The main residence has three bedrooms (BED 1: 3.70 x 2.81, BED 2: 2.80 x 2.71, BED 3: 3.00 x 2.81), a family room (6.40 x 3.80), meals area, kitchen (2.80 x 2.40), bath, entry, portico, and various wardrobes (WIR, S/D ROBE). Other features include bins, a remote control panel lift door, and a small tree (Pyrus Calleryana 'Capital'). Dimensions for setbacks and boundaries are provided throughout the plan.

SITE DEVELOPMENT PLAN

Feature	Dimensions / Details
TOTAL SITE AREA:	191 m ²
TOTAL SITE COVERAGE	68%
PRIVATE OPEN SPACE	25 m ²

Material / Feature	Symbol / Detail
CONCRETE PERIMETER PAVING AND DRIVEWAY	[Pattern]
LANDSCAPING	[Pattern]

AREAS m²

Room	Area (m ²)
LIVING	96.80
PORTICO	2.04
ALFRESCO	-
CARPORT	31.90
TOTAL	130.74

SPECIAL NOTES

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES.
- FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.
- NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.
- ©COPYRIGHT
- THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.

SHEET 1 OF 2
PLANNING APPLICATION

Job No. 22287SK

DATE: 26.10.22 SCALE: 1:100

DRAWN: CR JOB TYPE: 4.1

MASTER UPDATE:
TYPE:

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 3
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES

- DENOTES DIRECT WIRED SMOKE ALARM
- Ⓢ DENOTES FULL HT BRICK CONTROL JOINT.
--REFER TO ENGINEERS REPORT

AREAS m ²	
LIVING	96.80
PORTICO	2.04
ALFRESCO	-
CARPORT	31.90
TOTAL	130.74

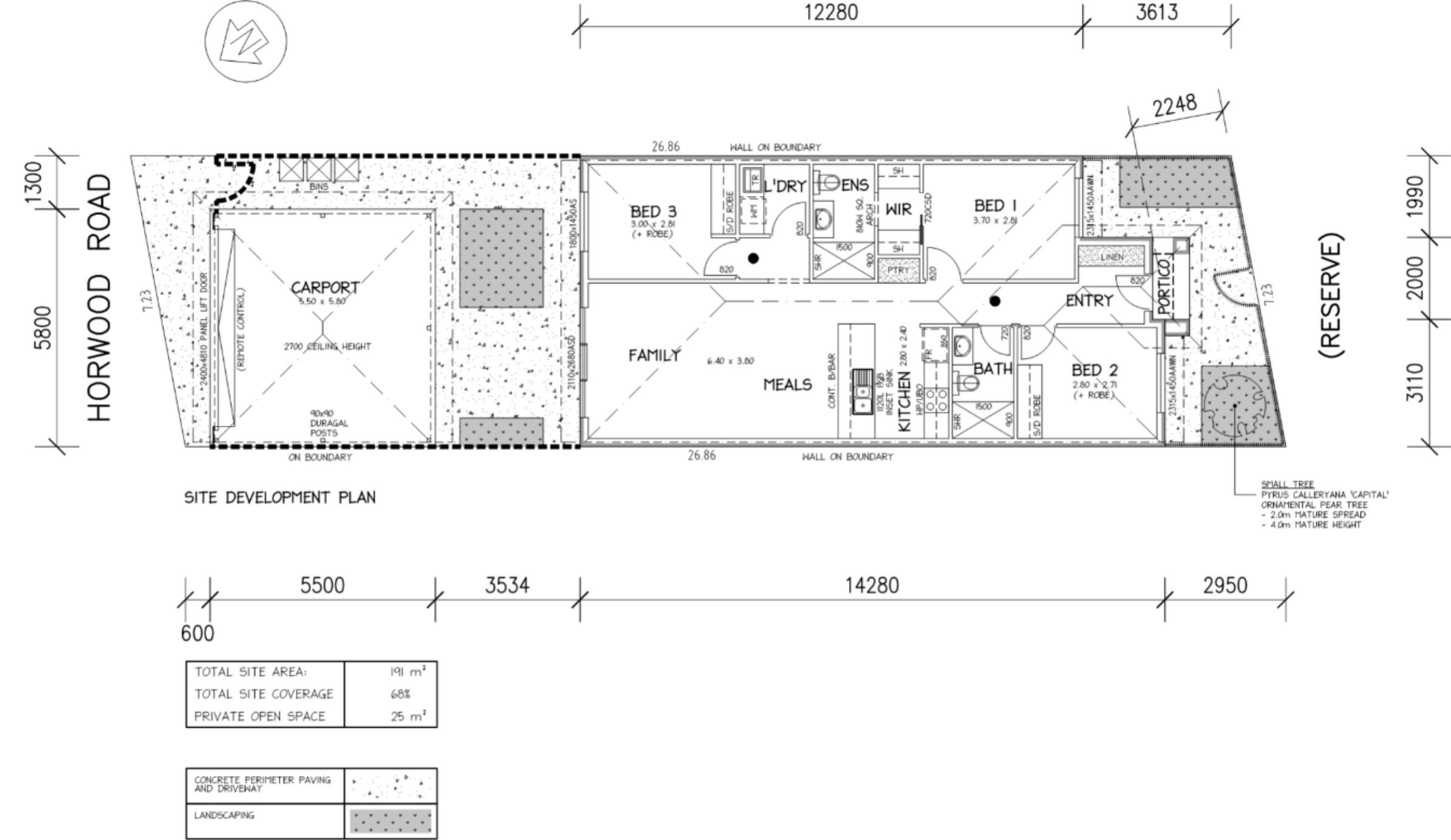
SPECIAL NOTES

WINDOW LEGEND

AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

City of Salisbury

CONTRACT PLAN
OWNER: _____
DATE: _____
BUILDER: _____
DATE: _____
OWNER: _____
DATE: _____

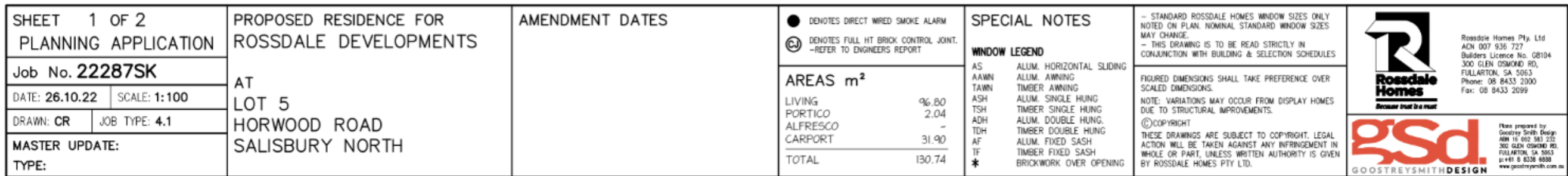


SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 4 HORWOOD ROAD	AMENDMENT DATES	● DENOTES DIRECT WIRED SMOKE ALARM	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES	 <div>Rossdale ACN 007 9 Builders Lic 300 GLEN FULLARTON Phone: 08 Fax: 08 84</div>	
Job No. 22287SK				Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT		AREAS m ² LIVING 96.80 PORTICO 2.04 ALFRESCO -		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT ROSSDALE HOMES
DATE: 26.10.22	SCALE: 1:100							
DRAWN: CR	JOB TYPE: 4.1							

OWNER:	DATE:		
BUILDER:	DATE:		
OWNER:	DATE:		
OWNER:	DATE:		

SHEET 2 OF 2 PLANNING APPLICATION Job No. 22287SK DATE: 26.10.22 SCALE: 1:100 DRAWN: CR JOB TYPE: 4.1 MASTER UPDATE: TYPE:	PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 4 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES	● DENOTES DIRECT WIRED SMOKE ALARM ☉ DENOTES FULL HT BRICK CONTROL JOINT. --REFER TO ENGINEERS REPORT AREAS m ²	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	-- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. -- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	Rossdale Homes Pty Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099
--	---	-----------------	---	---	--	--

Plans prepared by: Goostrey Smith Design 322 GLEN OSMOND RD, FULLARTON, SA 5063 p+61 8 8330 6888 www.goostreysmith.com.au
--



DATE: _____

BUILDER: _____

DATE: _____

DATE: _____

OWNER: _____

OWNER: _____

COLORBOND ROOF ON 25° PITCH
460mm EAVES
300mm EAVES TO PORTICO

FRONT ELEVATION
- TO BE FULLY RENDERED

RIGHT ELEVATION

REAR ELEVATION

LEFT ELEVATION

COLORBOND ROOF ON 25° PITCH
420mm EAVES

FRONT ELEVATION
- CARPORT

RIGHT ELEVATION

REAR ELEVATION

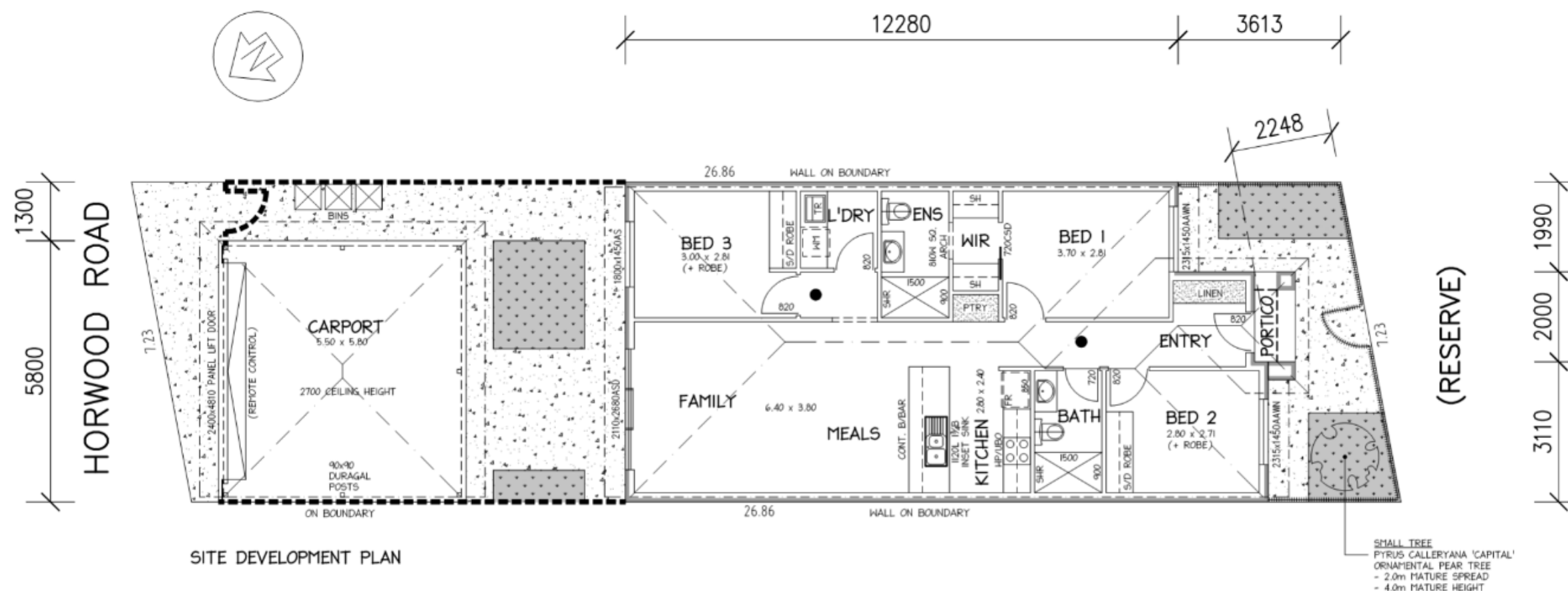
LEFT ELEVATION

SHEET 2 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOT 5 HORWOOD ROAD SALISBURY NORTH	AMENDMENT DATES	<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. - REFER TO ENGINEERS REPORT</div> <div>AREAS m²</div>	<div>SPECIAL NOTES</div> <div>WINDOW LEGEND</div> <div>AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING</div>	<div>- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</div> <div>FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</div> <div>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</div>	<div> Rossdale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div> <div> GOOSTREYSMITH DESIGN Plans prepared by: Goostrey Smith Design ABN 16 002 563 252 302 GLEN OSMOND RD, FULLARTON, SA 5063 p: +61 8 8338 6868 www.goostreydesign.com.au</div>
Job No. 22287SK							
DATE: 26.10.22	SCALE: 1:100						
DRAWN: CR	JOB TYPE: 4.1						
MASTER UPDATE: TYPE:							

OWNER: _____ DATE: _____

OWNER: _____ DATE: _____

BUILDER: _____ DATE: _____





Site plan showing dimensions and area breakdown:

- Dimensions: 5500, 3534, 14280, 2950, 600
- Area Breakdown:

TOTAL SITE AREA:	191 m ²
TOTAL SITE COVERAGE	68%
PRIVATE OPEN SPACE	25 m ²
- Material Legend:

CONCRETE PERIMETER PAVING AND DRIVEWAY	
LANDSCAPING	

SHEET 1 OF 2 PLANNING APPLICATION		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS		AMENDMENT DATES		● DENOTES DIRECT WIRED SMOKE ALARM (CJ) DENOTES FULL HT BRICK CONTROL JUNT. -REFER TO ENGINEERS REPORT		SPECIAL NOTES - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		 Rossdale Homes Rosedale Homes Pty. Ltd ACN 007 936 727 Builders Licence No. 08104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099	
Job No. 22287SK		AT				WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING		FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.		 GOOSTREYSMITH DESIGN Plans prepared by: Goudrey Smith Design ACN 16 002 583 2 302 GLEN OSMOND RD FULLARTON, SA 506 p: +61 8 8338 6000 www.goostreysmith.co	
DATE: 26.10.22 SCALE: 1:100		LOT 6				AREAS m ² LIVING 96.80 PORTICO 2.04 ALFRESCO - CARPORT 31.90 TOTAL 130.74					
DRAWN: CR JOB TYPE: 4.1		HORWOOD ROAD									
MASTER UPDATE:		SALISBURY NORTH									
TYPE:											

CONTRACT PLAN

DATE:

BUILDER:

DATE:

OWNER:

DATE:

OWNER:

COLORBOND ROOF ON 25° PITCH
460mm EAVES
300mm EAVES TO PORTICO

WALL ON BOUNDARY

CEILING LEVEL

FLOOR LEVEL

2700

FRONT ELEVATION
- TO BE FULLY RENDERED

HEBEL CONSTRUCTION THROUGHOUT

RIGHT ELEVATION

REAR ELEVATION

LEFT ELEVATION

COLORBOND ROOF ON 25° PITCH
420mm EAVES

BOUNDARY GUTTER

CEILING LEVEL

FLOOR LEVEL

2700

FRONT ELEVATION - CARPORT

FIBRE CEMENT PANEL TO FRONT OF CARPORT POSTS

RIGHT ELEVATION

REAR ELEVATION

LEFT ELEVATION

SHEET 2 OF 2
PLANNING APPLICATION

Job No. 22287SK

DATE: 26.10.22 SCALE: 1:100

DRAWN: CR JOB TYPE: 4.1

MASTER UPDATE:

TYPE:

PROPOSED RESIDENCE FOR
ROSSDALE DEVELOPMENTS

AT
LOT 6
HORWOOD ROAD
SALISBURY NORTH

AMENDMENT DATES

● DENOTES DIRECT WIRED SMOKE ALARM

(CJ) DENOTES FULL HT BRICK CONTROL JOINT.
—REFER TO ENGINEERS REPORT

AREAS m²

SPECIAL NOTES

WINDOW LEGEND

AS	ALUM. HORIZONTAL SLIDING
AAWN	ALUM. AWNING
TAWN	TIMBER AWNING
ASH	ALUM. SINGLE HUNG
TSH	TIMBER SINGLE HUNG
ADH	ALUM. DOUBLE HUNG
TDH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
*	BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.
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NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.

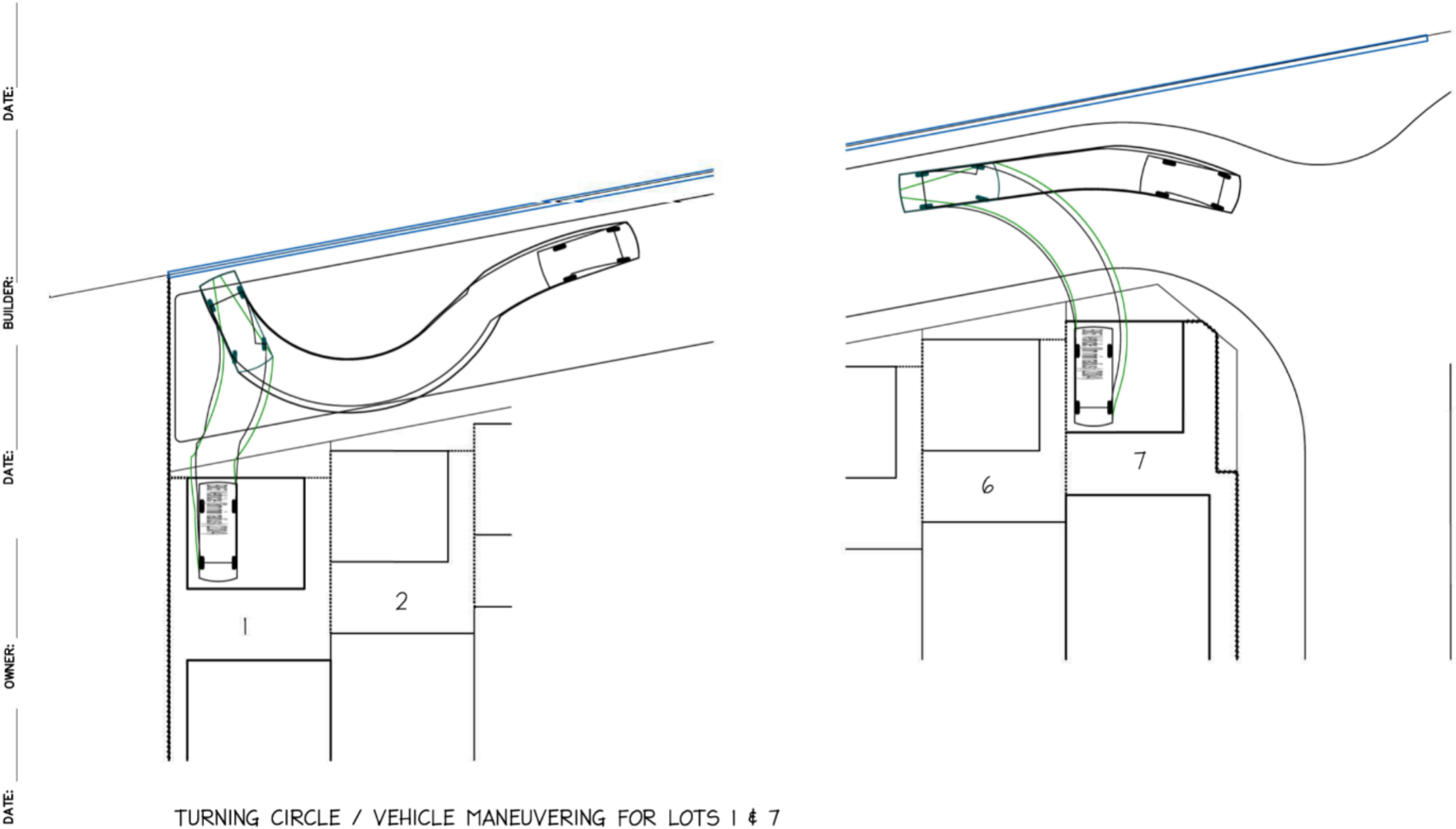
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Rossdale Homes Pty Ltd
ACN 007 936 727
Builders Licence No. G8104
300 GLEN OSMOND RD,
FULLARTON, SA 5063
Phone: 08 8433 2000
Fax: 08 8433 2099

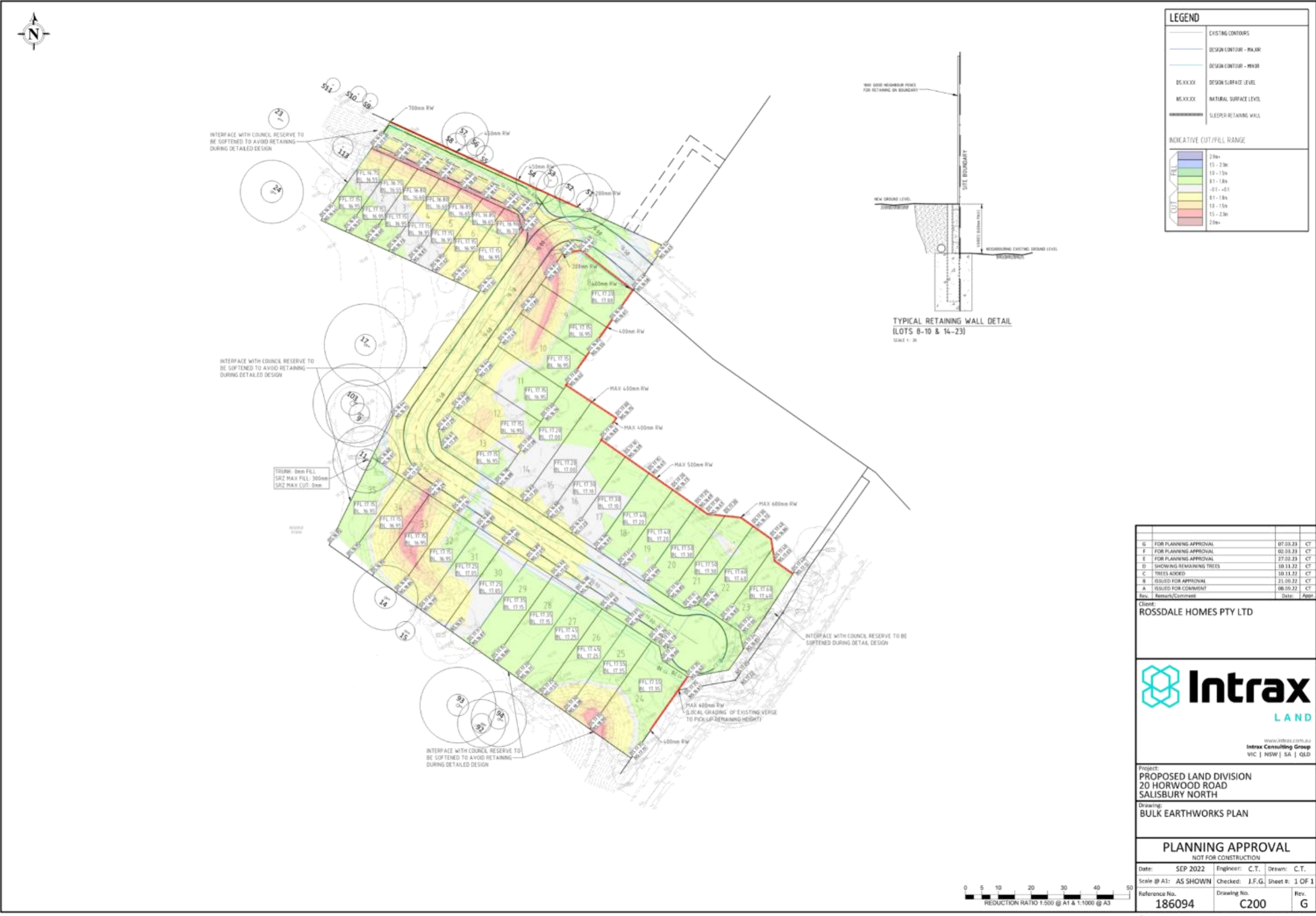
gSd
GOOSTREYSMITH DESIGN

Plans prepared by:
Goostrey Smith Design
ABN 16 002 583 337
302 GLEN OSMOND RD
FULLARTON, SA 5063
p+61 8 8336 6888
www.goostreysmith.com.au





SHEET 1 OF 1 TURNING CIRCLES		PROPOSED RESIDENCE FOR ROSSDALE DEVELOPMENTS AT LOTS 1 TO 35 HORWODD RD SALISBURY NORTH	AMENDMENT DATES	<div>● DENOTES DIRECT WIRED SMOKE ALARM</div> <div>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT</div>	SPECIAL NOTES WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAWIN ALUM. AWNING TAWN TIMBER AWNING ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TDH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING	- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS. ©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.	<div><div><div>R</div><div>Rosdale Homes</div><div>Because trust is a must</div></div><div><div>gsd</div><div>GOOSTREYSMITHDESIGN</div></div></div> <div>Rosdale Homes Pty. Ltd ACN 007 836 727 Builders Licence No. G8104 300 GLEN OSMOND RD, FULLARTON, SA 5063 Phone: 08 8433 2000 Fax: 08 8433 2099</div> <div>Plans prepared by: Goostrey Smith Design ABN 19 902 001 332 353 GLEN OSMOND RD, FULLARTON, SA 5063 p: +61 8 8338 6886 www.goostreysmith.com.au</div>
Job No. 22287PL							
DATE: 3.3.23	SCALE: 1:200						
DRAWN: CR	JOB TYPE:						
MASTER UPDATE: TYPE:							



Item 8.1.4 - Attachment 1 - Proposal Plans and Supporting Documentation

Appendix 2

Extract of Planning and Design Code

Policy24 - Enquiry

LOT 322 HOLSTEIN DR SALISBURY NORTH SA 5108**Address:**Click to view a detailed interactive [SARIS](#) in [SAILIS](#)

To view a detailed interactive property map in SAPPa click on the map below

**Property Zoning Details****Local Variation (TNV)**

Concept Plan (Concept Plan 81 - Edinburgh Defence Airfield Lighting Constraints)

Overlay

Airport Building Heights (Regulated) (All structures over 45 metres)

Affordable Housing

Building Near Airfields

Defence Aviation Area (All structures over 15 metres)

Hazards (Flooding)

Hazards (Flooding - General)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

Water Resources

Zone

General Neighbourhood

Selected Development(s)

Group dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this means the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Group dwelling - Code Assessed - Performance Assessed

Policy24 - Enquiry

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature								
Land Use and Intensity									
PO 1.1 Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.	DTS/DPF 1.1 Development comprises one or more of the following: (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Educational establishment (f) Office (g) Place of Worship (h) Pre-school (i) Recreation area (j) Residential flat building (k) Retirement facility (l) Shop (m) Student accommodation (n) Supported accommodation								
Site Dimensions and Land Division									
PO 2.1 Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.	DTS/DPF 2.1 Development will not result in more than 1 dwelling on an existing allotment or Allotments/sites for residential purposes accord with the following: <table><tr><th>Dwelling Type</th><th>Minimum site/allotment area per dwelling</th><th>Minimum site/allotment frontage</th></tr><tr><td>Detached dwelling (not in a terrace arrangement)</td><td>300m² (exclusive of any battle-axe allotment 'handle')</td><td>9m where not on a battle-axe site 5m where on</td></tr></table>			Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage	Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on
Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage							
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on							

Page 2 of 46

Printed on 18/11/2022

Policy24 - Enquiry

			a battle-axe site
	Semi-detached dwelling	300m ²	9m
	Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
	Group dwelling	300m ² (average, including common areas)	15m (total)
	Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)
PO 2.2 Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	DTS/DPF 2.2 Where the site of a dwelling does not comprise an entire allotment: (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1 (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene: (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.		
Site Coverage			
PO 3.1 Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.	DTS/DPF 3.1 The development does not result in site coverage exceeding 60%.		
Building Height			
PO 4.1 Buildings contribute to a low-rise suburban character.	DTS/DPF 4.1 Building height (excluding garages, carports and outbuildings) no greater than: (a) 2 building levels and 9m and (b) wall height that is no greater than 7m except in the case of a gable end.		
Primary Street Setback			
PO 5.1 Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.	DTS/DPF 5.1 The building line of a building set back from the primary street boundary: (a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those		

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	<p>buildings that would adjoin the site if not separated by a public road or a vacant allotment)</p> <p>(b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building</p> <p>or</p> <p>(c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.</p>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the boundary of the allotment with a secondary street frontage:</p> <p>(a) at least 900mm</p> <p>or</p> <p>(b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(b) side boundary walls do not:</p> <ul style="list-style-type: none"> (i) exceed 3m in height from the top of footings (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.
Side boundary setback	
<p>PO 8.1</p> <p>Building walls are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>and</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary, building walls are set back from side boundaries:</p> <p>(a) at least 900mm where the wall height is up to 3m</p> <p>(b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m</p> <p>and</p> <p>(c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.</p>
Rear boundary setback	

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<p>PO 9.1</p> <p>Dwelling walls are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<p>DTS/DPF 9.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) if the size of the site is less than 301m²— <ul style="list-style-type: none"> (i) 3m in relation to the ground floor of the dwelling (ii) 5m in relation to any other building level of the dwelling (b) if the size of the site is 301m² or more— <ul style="list-style-type: none"> (i) 4m in relation to the ground floor of the dwelling (ii) 6m in relation to any other building level of the dwelling.
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Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following):	Except development that:

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<ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	<ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>

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6. Alteration of or addition to any development involving the following (or of any combination of any of the following): (a) community facility (b) educational establishment (c) pre-school.	Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.
7. Demolition.	Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where:

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	<p>(a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or</p> <p>(b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.</p>
<p>PO 1.3</p> <p>Affordable housing is distributed throughout the development to avoid an overconcentration.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
Built Form and Character	
<p>PO 2.1</p> <p>Affordable housing is designed to complement the design and character of residential development within the locality.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Affordable Housing Incentives	
<p>PO 3.1</p> <p>To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.</p>	<p>DTS/DPF 3.1</p> <p>The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.</p>
<p>PO 3.2</p> <p>To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.</p>	<p>DTS/DPF 3.2</p> <p>Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> (a) Business Neighbourhood Zone (b) City Living Zone (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone (p) Urban Renewal Neighbourhood Zone (q) Waterfront Neighbourhood Zone <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> (a) the development is located within the Character Area Overlay or Historic Area Overlay or (b) other height incentives already apply to the

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	development.
Movement and Car Parking	
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <p>(a) 0.3 carpark per dwelling within a building which incorporates dwellings located above ground level within either:</p> <ul style="list-style-type: none"> (i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (ii) is within 400 metres of a bus interchange⁽¹⁾ (iii) is within 400 metres of an O-Bahn interchange⁽¹⁾ (iv) is within 400 metres of a passenger rail station⁽¹⁾ (v) is within 400 metres of a passenger tram station⁽¹⁾ (vi) is within 400 metres of the Adelaide Parklands. <p>or</p> <p>(b) 1 carpark per dwelling for any other dwelling.</p> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Airport Building Heights (Regulated) Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay**Assessment Provisions (AP)**

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Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated turbulence and windshear that may pose a safety hazard to aircraft flight movement.	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Defence Aviation Area Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings on the operational and safety requirements of Defence Aviation Areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operations of Defence Aviation Areas.	DTS/DPF 1.1 Building height does not exceed the relevant height specified by the <i>Defence Aviation Area Overlay</i> .

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

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Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding) Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 3.1 Development avoids the need for flood protection works.	DTS/DPF 3.1 None are applicable.
PO 3.2 Development does not cause unacceptable impacts on any adjoining property by the diversion of flood waters or an increase in flood velocity or flood level.	DTS/DPF 3.2 None are applicable.
PO 3.3 Development does not impede the flow of floodwaters through the allotment or the surrounding land, or cause an unacceptable loss of flood storage.	DTS/DPF 3.3 None are applicable.
PO 3.4 Development avoids frequently flooded or high velocity areas, other than where it is part of a flood mitigation scheme to reduce flood impact.	DTS/DPF 3.4 Other than a recreation area, development is located outside of the 5% AEP principal flow path.
PO 3.5 Buildings are sited, designed and constructed to prevent the entry of floodwaters in a 1% AEP flood event where the entry of floodwaters is likely to result in undue damage to, or compromise ongoing activities within, buildings.	DTS/DPF 3.5 Buildings comprise one of the following: <ul style="list-style-type: none"> (a) a porch or portico with at least 2 open sides (b) a verandah with at least 3 open sides (c) a carport or outbuilding with at least 2 open sides (whichever elevations face the direction of the flow) (d) any post construction with open sides (e) a building with a finished floor level that is at least 300mm above the height of a 1% AEP flood event.

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Environmental Protection	
PO 4.2 Development does not create or aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood.	DTS/DPF 4.2 None are applicable.
Site Earthworks	
PO 5.1 The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage.	DTS/DPF 5.1 None are applicable.
PO 5.2 Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling.	DTS/DPF 5.2 Filling for ancillary purposes: (a) does not exceed 300mm above existing ground level (b) is no more than 5m wide.
Access	
PO 6.1 Development does not occur on land: (a) from which evacuation to areas not vulnerable to flood risk is not possible during a 1% AEP flood event (b) which cannot be accessed by emergency services vehicles or essential utility service vehicles during a 1% AEP flood event.	DTS/DPF 6.1 None are applicable.
PO 6.2 Access driveways and tracks to significant development (i.e. dwellings, places of work, etc.) consist of a safe, all-weather trafficable surface that is accessible during a 1% AEP flood event.	DTS/DPF 6.2 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding – General) Overlay**Assessment Provisions (AP)**

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Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Stormwater Management Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Residential development is designed to capture and re-use stormwater to: (a) maximise conservation of water resources	DTS/DPF 1.1 Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:

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Urban Tree Canopy Overlay**Assessment Provisions (AP)**

Desired Outcome				
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.			

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																																							
PO 1.1 Trees are planted or retained to contribute to an urban tree canopy.	<div>DTS/DPF 1.1</div> <div>Tree planting is provided in accordance with the following:</div> <table><tr><td>Site size per dwelling (m²)</td><td colspan="3">Tree size* and number required per dwelling</td></tr><tr><td><450</td><td colspan="3">1 small tree</td></tr><tr><td>450-800</td><td colspan="3">1 medium tree or 2 small trees</td></tr><tr><td>>800</td><td colspan="3">1 large tree or 2 medium trees or 4 small trees</td></tr></table> <div>*refer Table 1 Tree Size</div> <table><tr><td colspan="4">Table 1 Tree Size</td></tr><tr><td>Tree size</td><td>Mature height (minimum)</td><td>Mature spread (minimum)</td><td>Soil area around tree within development site (minimum)</td></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m² and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m² and min. dimension of 2m</td></tr><tr><td>Large</td><td>12 m</td><td>8m</td><td>60m² and min. dimension of 4m</td></tr></table> <div>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.</div>				Site size per dwelling (m ²)	Tree size* and number required per dwelling			<450	1 small tree			450-800	1 medium tree or 2 small trees			>800	1 large tree or 2 medium trees or 4 small trees			Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m ² and min. dimension of 1.5m	Medium	6 m	4 m	30m ² and min. dimension of 2m	Large	12 m	8m	60m ² and min. dimension of 4m
Site size per dwelling (m ²)	Tree size* and number required per dwelling																																							
<450	1 small tree																																							
450-800	1 medium tree or 2 small trees																																							
>800	1 large tree or 2 medium trees or 4 small trees																																							
Table 1 Tree Size																																								
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																																					
Small	4 m	2m	10m ² and min. dimension of 1.5m																																					
Medium	6 m	4 m	30m ² and min. dimension of 2m																																					
Large	12 m	8m	60m ² and min. dimension of 4m																																					

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Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
<p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p>			

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Water Resources Overlay**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.

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DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.	DTS/DPF 1.2 None are applicable.
PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to: (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.	DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.
PO 1.6 Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following: (a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.	DTS/DPF 1.6 None are applicable.
PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.	DTS/DPF 1.7 None are applicable.
PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.	DTS/DPF 1.8 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It

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sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>

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<p>(b) provide level transition areas for the safe movement of people and goods to and from the development</p> <p>(c) are designed to integrate with the natural topography of the land.</p>	
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
Overlooking / Visual Privacy (low rise buildings)	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</p>	<p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
<p>PO 11.1</p> <p>Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>
<p>PO 11.2</p> <p>Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public</p>	<p>DTS/DPF 11.2</p> <p>None are applicable.</p>

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domain, open space and dwellings.	
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.
All Development - Medium and High Rise	
External Appearance	
PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.
PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes: (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate: (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
PO 12.7	DTS/DPF 12.7

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Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	Entrances to multi-storey buildings are: <ul style="list-style-type: none">(a) oriented towards the street(b) clearly visible and easily identifiable from the street and vehicle parking areas(c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses(d) designed to provide shelter, a sense of personal address and transitional space around the entry(e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors(f) designed to avoid the creation of potential areas of entrapment.																											
PO 12.8 Building services, plant and mechanical equipment are screened from the public realm.	DTS/DPF 12.8 None are applicable.																											
Landscaping																												
PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.																											
PO 13.2 Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	DTS/DPF 13.2 Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired. <table><tr><th>Site area</th><th>Minimum deep soil area</th><th>Minimum dimension</th><th>Tree / deep soil zones</th></tr><tr><td><300 m²</td><td>10 m²</td><td>1.5m</td><td>1 small tree / 10 m²</td></tr><tr><td>300-1500 m²</td><td>7% site area</td><td>3m</td><td>1 medium tree / 30 m²</td></tr><tr><td>>1500 m²</td><td>7% site area</td><td>6m</td><td>1 large or medium tree / 60 m²</td></tr></table> Tree size and site area definitions <table><tr><td>Small tree</td><td>4-6m mature height and 2-4m canopy spread</td></tr><tr><td>Medium tree</td><td>6-12m mature height and 4-8m canopy spread</td></tr><tr><td>Large tree</td><td>12m mature height and >8m canopy spread</td></tr><tr><td></td><td></td></tr></table>				Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²	300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²	>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²	Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread	Large tree	12m mature height and >8m canopy spread		
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	Site area	The total area for development site, not average area per dwelling
PO 13.3 Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	DTS/DPF 13.3 None are applicable.	
PO 13.4 Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	DTS/DPF 13.4 Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.	
Environmental		
PO 14.1 Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	DTS/DPF 14.1 None are applicable.	
PO 14.2 Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	DTS/DPF 14.2 None are applicable.	
PO 14.3 Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as: (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level.	DTS/DPF 14.3 None are applicable.	
Overlooking/Visual Privacy		
PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as: (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight	DTS/DPF 16.1 None are applicable.	

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<p>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</p> <p>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</p>	
All residential development	
Front elevations and passive surveillance	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m² facing the primary street.
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
Outlook and Amenity	
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
<p>PO 18.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 18.2</p> <p>None are applicable.</p>
Residential Development - Low Rise	
External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation</p>

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	<p>facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish. 								
PO 20.3	DTS/DPF 20.3								
The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	None are applicable								
Private Open Space									
PO 21.1	DTS/DPF 21.1								
Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.								
PO 21.2	DTS/DPF 21.2								
Private open space is positioned to provide convenient access from internal living areas.	Private open space is directly accessible from a habitable room.								
Landscaping									
PO 22.1	DTS/DPF 22.1								
<p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td></td><td></td></tr> </tbody> </table>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%		
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<150	10%								
150-200	15%								

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		<table><tr><td>>200-450</td><td>20%</td></tr><tr><td>>450</td><td>25%</td></tr></table>	>200-450	20%	>450	25%
>200-450	20%					
>450	25%					
	(b)	at least 30% of any land between the primary street boundary and the primary building line.				
Car parking, access and manoeuvrability						
PO 23.1	DTS/DPF 23.1					
Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):					
	(a) single width car parking spaces:					
	(i) a minimum length of 5.4m per space					
	(ii) a minimum width of 3.0m					
	(iii) a minimum garage door width of 2.4m					
	(b) double width car parking spaces (side by side):					
	(i) a minimum length of 5.4m					
	(ii) a minimum width of 5.4m					
	(iii) minimum garage door width of 2.4m per space.					
PO 23.2	DTS/DPF 23.2					
Uncovered car parking space are of dimensions to be functional, accessible and convenient.	Uncovered car parking spaces have:					
	(a) a minimum length of 5.4m					
	(b) a minimum width of 2.4m					
	(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.					
PO 23.3	DTS/DPF 23.3					
Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.	Driveways and access points satisfy (a) or (b):					
	(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site					
	(b) sites with a frontage to a public road greater than 10m:					
	(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;					
	(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.					
PO 23.4	DTS/DPF 23.4					
Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.	Vehicle access to designated car parking spaces satisfy (a) or (b):					
	(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land					

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	<p>(b) where newly proposed, is set back:</p> <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
Design of Transportable Buildings	
<p>PO 25.1</p>	<p>DTS/DPF 25.1</p>

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The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	Buildings satisfy (a) or (b): (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
PO 26.1 Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	DTS/DPF 26.1 Buildings: (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
PO 26.2 The visual privacy of ground level dwellings within multi-level buildings is protected.	DTS/DPF 26.2 The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 27.1 Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1 Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	DTS/DPF 28.1 Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2 Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to: (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.	DTS/DPF 28.2 Balconies utilise one or a combination of the following design elements: (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
PO 28.3 Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	DTS/DPF 28.3 Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
PO 28.4 Dwellings are provided with sufficient space for storage to meet likely occupant needs.	DTS/DPF 28.4 Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with

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	<p>at least 50% or more of the storage volume to be provided within the dwelling:</p> <ul style="list-style-type: none"> (a) studio: not less than 6m³ (b) 1 bedroom dwelling / apartment: not less than 8m³ (c) 2 bedroom dwelling / apartment: not less than 10m³ (d) 3+ bedroom dwelling / apartment: not less than 12m³.
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <ul style="list-style-type: none"> (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.
<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
Dwelling Configuration	
<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> (a) studio (where there is no separate bedroom) (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom.
<p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
Common Areas	
<p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p> <ul style="list-style-type: none"> (a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where

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	the corridors exceed 12m in length from a core.										
Group Dwellings, Residential Flat Buildings and Battle axe Development											
Amenity											
PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.	<p>DTS/DPF 31.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> <tr> <td>Studio</td><td>35m²</td></tr> <tr> <td>1 bedroom</td><td>50m²</td></tr> <tr> <td>2 bedroom</td><td>65m²</td></tr> <tr> <td>3+ bedrooms</td><td>80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td></tr> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m ²										
1 bedroom	50m ²										
2 bedroom	65m ²										
3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom										
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.										
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.										
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.										
Communal Open Space											
PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 32.1 None are applicable.										
PO 32.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.										
PO 32.3 Communal open space is designed and sited to: <ul style="list-style-type: none"> (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. 	DTS/DPF 32.3 None are applicable.										
PO 32.4	DTS/DPF 32.4										

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Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	None are applicable.
<p>PO 32.5</p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance. 	<p>DTS/DPF 32.5</p> <p>None are applicable.</p>
Car parking, access and manoeuvrability	
<p>PO 33.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 33.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>PO 33.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 33.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 33.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 33.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <ul style="list-style-type: none"> (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
<p>PO 33.4</p> <p>Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 33.4</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 33.5</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 33.5</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>

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Soft landscaping	
PO 34.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1 Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 35.1 None are applicable.
PO 35.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 35.2 None are applicable.
PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 35.3 None are applicable.
PO 35.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 35.5 None are applicable.
PO 35.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 35.6 None are applicable.
Water sensitive urban design	
PO 36.1 Residential development creating a common driveway / access includes stormwater management systems that minimise the	DTS/DPF 36.1 None are applicable.

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discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	
PO 36.2 Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 36.2 None are applicable.
Laneway Development	
Infrastructure and Access	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: <ul style="list-style-type: none"> (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares. 	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which	Dwellings at ground level:	15m ² / minimum dimension 3m

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incorporate above ground level dwellings	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.

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resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in: a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following: a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m ² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.
PO 3.3 Development does not unduly reduce the generating capacity of	DTS/DPF 3.3 None are applicable.

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adjacent rooftop solar energy facilities taking into account:	
(a) the form of development contemplated in the zone	
(b) the orientation of the solar energy facilities	
(c) the extent to which the solar energy facilities are already overshadowed.	

Site Contamination

Assessment Provisions (AP)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) and (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as

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	demonstrated in a site contamination declaration form).
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Transport, Access and Parking**Assessment Provisions (AP)**

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Access	
PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads.	DTS/DPF 3.1 The access is: (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.5 Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	DTS/DPF 3.5 Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 3.6 Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).	DTS/DPF 3.6 Driveways and access points: (a) for sites with a frontage to a public road of 20m or less,

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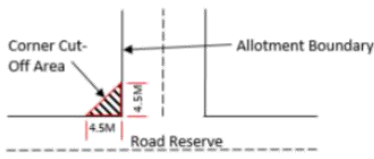
	<p>one access point no greater than 3.5m in width is provided</p> <p>(b) for sites with a frontage to a public road greater than 20m:</p> <p>(i) a single access point no greater than 6m in width is provided or</p> <p>(ii) not more than two access points with a width of 3.5m each are provided.</p>
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <p>(a) availability of on-street car parking</p> <p>(b) shared use of other parking areas</p> <p>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</p> <p>(d) the adaptive reuse of a State or Local Heritage Place.</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements</p> <p>(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas</p> <p>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</p>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.

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	Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Aged / Supported Accommodation	
Retirement village	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>

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Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan park / tourist park	<p>Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.</p> <p>Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.</p> <p>A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.</p>
Tourist accommodation	1 car parking space per accommodation unit / guest room.
Commercial Uses	
Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Call centre	8 spaces per 100m ² of gross leasable floor area.
Motor repair station	3 spaces per service bay.
Office	4 spaces per 100m ² of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	<p>2.5 spaces per 100m² of gross leasable floor area</p> <p>1 space per 100m² of outdoor area used for display purposes.</p>
Shop (no commercial kitchen)	<p>5.5 spaces per 100m² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.</p> <p>5 spaces per 100m² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.</p>
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	<p>Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.</p> <p>Premises with take-away service but with no seats - 12 spaces per 100m² of</p>

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	<p>total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.</p> <p>Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.</p>
Community and Civic Uses	
Childcare centre	0.25 spaces per child
Library	4 spaces per 100m ² of total floor area.
Community facility	10 spaces per 100m ² of total floor area.
Hall / meeting hall	0.2 spaces per seat.
Place of worship	1 space for every 3 visitor seats.
Pre-school	1 per employee plus 0.25 per child (drop off/pick up bays)
Educational establishment	<p>For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.</p>
Health Related Uses	
Hospital	<p>4.5 spaces per bed for a public hospital.</p> <p>1.5 spaces per bed for a private hospital.</p>
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.

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Indoor recreation facility	6.5 spaces per 100m ² of total floor area for a Fitness Centre 4.5 spaces per 100m ² of total floor area for all other Indoor recreation facilities.
Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m ² total floor area 1 spaces per 100m ² of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	1.5 spaces per 100m ² of total floor area 1 space per 100m ² of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of	No minimum.	No maximum except in the	Capital City Zone

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development		<p>Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	5 spaces per 100m ² of gross leasable floor area.	<p>City Living Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	6 spaces per 100m ² of gross leasable floor area.	<p>Strategic Innovation Zone</p> <p>Suburban Activity Centre Zone</p> <p>Suburban Business Zone</p> <p>Business Neighbourhood Zone</p> <p>Suburban Main Street Zone</p> <p>Urban Activity Centre Zone</p>
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>

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Residential development			
Residential component of a multi-storey building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Strategic Innovation Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone

Table 2 - Criteria:

The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following: (a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service ⁽²⁾ (b) is within 400 metres of a bus interchange ⁽¹⁾ (c) is within 400 metres of an O-Bahn interchange ⁽¹⁾ (d) is within 400 metres of a passenger rail station ⁽¹⁾ (e) is within 400 metres of a passenger	(a) All zones in the City of Adelaide (b) Strategic Innovation Zone in the following locations: (i) City of Burnside (ii) City of Marion (iii) City of Mitcham (c) Urban Corridor (Boulevard) Zone (d) Urban Corridor (Business) Zone (e) Urban Corridor (Living) Zone (f) Urban Corridor (Main Street) Zone (g) Urban Neighbourhood Zone

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(f)	tram station ⁽¹⁾ is within 400 metres of the Adelaide Parklands.	
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[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

**INFORMATION
ONLY
ITEM**

8.2.1

COUNCIL ASSESSMENT PANEL**DATE**

26 April 2023

HEADING

Status of Current Appeal Matters and Deferred Items

AUTHOR

Chris Zafiropoulos, Assessment Manager, City Development

SUMMARY

The report provides an update on current appeal matters and deferred items.

RECOMMENDATIONThat the Panel Council:

1. Receives the information.

ATTACHMENTS

There are no attachments to this report.

1. REPORT

Applicant Appeal to Environment, Resources and Development Court, Tony Maiello (N27 Pty Ltd) v City of Salisbury (ERD-22-000014) - Development Application 361/1618/2020/2A

This appeal has been adjournment at the request of the appellant and is currently relisted before the Court for 22 May 2023.

Background

The Applicant appealed against the decision of the Panel to refuse the development application. The applicant presented two alternative proposals in response to the decision of the Panel but the amendments have not addressed the concerns of the Panel. Kelledy Jones Lawyers have been engaged to act on behalf of the Panel before the ERD Court.

The applicant has requested adjournment of the current proceedings in order to lodge a new application and for a decision to be made on this application. The new application has been made under the Planning and Design Code and is proposing two dwellings. This application has been refused planning consent by the Assessment Manager and an appeal has also been lodged against this decision.

Applicant Appeal to Environment, Resources and Development Court, Tony Maiello (N43 Pty Ltd) v City of Salisbury (ERD-23-000022) - Development Application 22031953

This appeal has been adjournment at the request of the appellant and is currently relisted before the Court for 30 June 2023.

Background

The Applicant has appealed against the decision of the Panel to affirm the decision of the Assessment Manager to refuse the development application for the *Construction of Two (2) Single Storey Group Dwellings in Association with Four (4) Existing Single Storey Group Dwellings, Shared Driveway, Visitor Car Parking and Landscaping* at Unit 1-2, 30 Shepherdson Road, Parafield Gardens, SA 5107. The applicant requested that this matter be adjourned to enable the submission of a revised proposal.

**INFORMATION
ONLY
ITEM**

8.2.2

COUNCIL ASSESSMENT PANEL**DATE**

26 April 2023

HEADING

Assessment Manager Quarterly Report - January to March 2023

AUTHOR

Chris Zafiropoulos, Assessment Manager, City Development

SUMMARY

This report provides the Assessment Manager Quarterly Report for the period between January to March 2023.

RECOMMENDATION

1. That the information be received and noted.

ATTACHMENTS

There are no attachments to this report.

1. BACKGROUND

- 1.1 The general operating procedures require the Assessment Manager to prepare a quarterly report of:
 - the development applications with representations determined under delegated authority for the previous period.
 - any development application delegated by the Panel where a deemed consent notice has been received.
- 1.2 This report provides a quarterly report for the period January to March 2023.

2. REPORT

- 2.1 The Panel is assigned as a relevant authority in its own right under the *Planning, Development and Infrastructure Act 2016*. In the exercise of its duties, the Panel delegated to the Assessment Manager specific duties and powers on its behalf. Delegations enhance decision making processes and allow nominated matters to be resolved efficiently and effectively without the need for the Panel's consideration.
- 2.2 The delegations provide for:
 - Administrative matters to assist in the timely processing of applications such as verifying development applications, undertaking statutory referrals and public notification.
 - Determining prescribed development applications.

Overview of planning application activity

2.3 The planning applications for the period are summarised in the table below.

	Number
Planning Applications Lodged	320
Planning Applications determined	304
Notified Applications	6
Determined planning consents by relevant authority (excluding private certification)	
➤ CAP	2
➤ Assessment Manager (AM)	300
➤ AM as delegate for Panel	2

2.4 The number of development applications that were notified during this period was six (6). Two (2) development applications were determined by the Assessment Manager under delegated authority and two (2) development applications were determined by the Panel.

2.5 The number of planning applications that were lodged under the previous *Development Act 1993* (prior to 19 March 2021) that are still active at the end of this quarter is twenty eight (28), down from thirty three (33) from the previous quarter.

Development Applications Assessed under Delegated Authority by the Assessment Manager

The development applications considered by the Assessment Manager under delegated authority are summarised below:

Single storey detached dwelling and associated retaining / fencing at 16a Alfred St Pooraka

Representations – one (support)

Decision – Approve with conditions

Change in use from Warehouse to Motor Repair Station and advertisement (Unit 1), Change in use to Warehouse and Light Industry and advertisement (Unit 2) at Units 1 and 2, 51-53 Stanbel Road, Salisbury Plain

Representations – Two (oppose)

Decision – Approve with conditions

Deemed Consents

2.6 No deemed consent notices have been received for this period.

3. CONCLUSION / PROPOSAL

- 3.1 The Assessment Manager Quarterly Report for the period January to March 2023 be received and noted.